



Heritage Impact Statement (Amended)

Newcastle East End


Blocks 3 & 4 (Demolition &
Development DAs)

Newcomen, Hunter, Thorn, Laing and King Streets

Submitted to Newcastle City Council
On Behalf of Iris Capital

OCTOBER 2024

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This report has been reviewed and approved for issue in accordance with City Plan's quality assurance policy and procedures.

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We proudly operate from the lands of the Gadigal, Darkinyung, Danggan Balun and Turrbal Peoples.

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1. BACKGROUND

1.1. Introduction

This Heritage Impact Statement (HIS) has been prepared on behalf of Iris Capital to accompany a development application (DA) for the proposed redevelopment of Blocks 3 & 4 of the Newcastle East End project bound by Newcomen, Hunter, Thorn, Laing and King Streets in Newcastle NSW 2300. The subject Blocks 3 and 4 of Newcastle East End (NEE) development in the Newcastle CBD has been subject to a Design Excellence Competition in August 2022. The proposed works are based on the winning design scheme by SJB, DBJ and Curious Practice.

The key objective of the development of Block 3 & 4, as it was for Blocks 1 and 2 of the NEE, to ensure that the scheme responds to the heritage values of the heritage item, in particular the Municipal Building, and the contributory buildings on and surrounding the NEE Blocks 3 & 4. The scheme has been carefully considered to respond to the constraints and opportunities presented in the heritage documentation pertinent to the NEE precinct and be consistent with the key urban design and heritage principles for the precinct and in particular Blocks 3 & 4 based on the Staged Development Application (DA 2015/10182), which was granted consent by the Joint Regional Planning Panel (JRPP) on 17 June 2016. The DA 2015/10182 was surrendered following IRIS Capital's ownership of the NEE precinct by the updated Staged DA 2017/00701. The scheme also addresses the objectives of the Newcastle Local Environmental Plan (LEP) 2012, the Development Control Plan (DCP) 2012 and the City of Newcastle Heritage Technical Manual (February 2020).

The subject blocks 3 & 4 are a part of the overall development area comprising four city blocks in Newcastle CBD. The project aims to rejuvenate the Newcastle city centre after years of neglect while adaptively reusing heritage buildings. The space is in a state of disrepair and decline, and rejuvenation will be achieved by a combination of new buildings and concepts that will create a living city coupled with the adaptive reuse of heritage buildings, which will preserve and protect heritage elements.

It is also noted that a preliminary HIS has previously been prepared for development works at Municipal Building (113-121 Hunter Street) and Commercial Buildings (105-111 Hunter Street) within Blocks 3 and 4 of the Newcastle East End Precinct. A Conservation Management Plan (CMP) has also previously been prepared by City Plan Heritage (CPH) for Blocks 3 & 4 of the Newcastle East End Project in March 2023.

This HIS has been prepared as part of the required assessments to accompany the Development Application (DA) under the *Environmental Planning and Assessment Act 1979*. All recommendations are made in accordance with statutory requirements and cultural heritage best practice.

This Heritage Impact Statement (now called Statement of Heritage Impact) has been amended to include the various statements provided in response to the Newcastle City Council's and Regional Planning Panel's Request for Information (RFIs). These included additional research, condition assessment, updated significance ranking of elements for Municipal Building, and further impact assessments in relation to curtilage of the Christ Church Cathedral, as well as views and setting of the Cathedral and Newcastle Club, discussion on the amended height distribution and layout of the NEE 3 & 4, and several design modifications.

These responses and additional assessment letters have been included as Appendix C instead of being incorporated within the following report to avoid loss of context for each RFI response and for easy clarification of the additional information.

1.2. The Site

The Newcastle East End Precinct is located approximately 170km north of the Sydney Central Business District (CBD). It is located in a mixed residential and commercial area, encompassed within the local government area of Newcastle City Council. The Precinct is located on a steep topography that slopes down toward Hunter Street and is raised towards King Street. The subject sites within Blocks 3 & 4 of the precinct are bounded by Newcomen Street to the east, Hunter Street to the north, Thorn Street to the west and Laing Street to the south.



Figure 1: Aerial view showing the location of the study area, circled in red. (Source: SIX Maps, accessed March 2023).

The Newcastle East End Precinct is generally an irregular shaped site comprising various built elements with some landscape features also present. The subject Blocks 3 & 4 of the Precinct encompass the following:

- Block 3 - bounded by Thorn, Hunter, Morgan and Laing Streets
- Block 4 - bounded by Morgan, Hunter, Newcomen and King Streets

The buildings that are the subject of this report include the following:

Block 3

- 113-121 Hunter Street
- 123-141 Hunter Street

Block 4

- 111 Hunter Street
- 109 Hunter Street
- 105 Hunter Street
- 3 Morgan Street
- 22 Newcomen Street
- 66-74 King Street (also known as 1 Morgan Street)

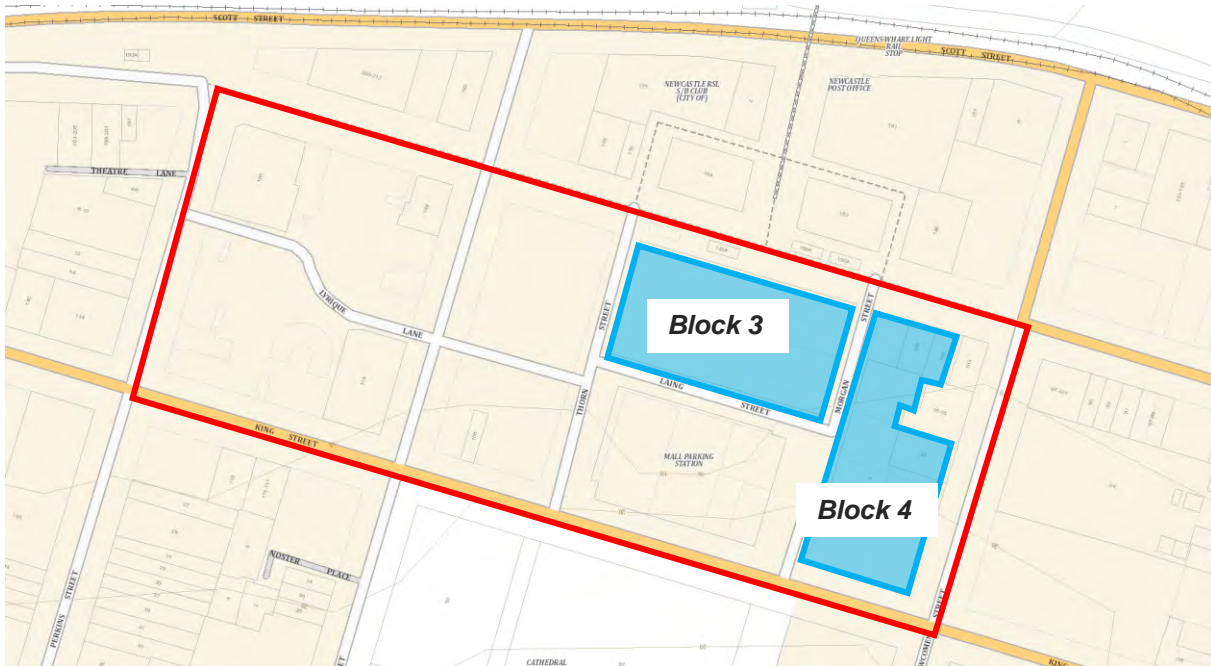


Figure 2: Cadastral map showing the location of the Newcastle East End Precinct (outlined in red) and Blocks 3 and 4 that are the subject of this report (outlined in blue) (Source: SIX Maps, accessed March 2023).

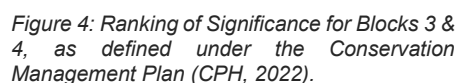
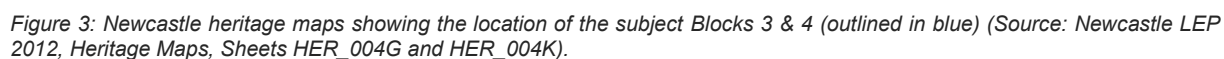
1.3. Legal Description

The subject sites within Blocks 3 & 4 of the Newcastle East End Precinct comprises the following lots:

Street Address	Lot	Deposited Plan (DP)
Block 3		
113-121 Hunter Street	31	864001
123-141 Hunter Street	32	864001
Block 4		
111 Hunter Street	A	388647
109 Hunter Street	B	388647
105 Hunter Street	1	77846
3 Morgan Street	100	109895
	1	723967
	2	331535
	98	1098034
	96	1098068
22 Newcomen Street	1	331535
66-74 King Street (also known as 1 Morgan Street)	1	8191354

1.4. Heritage listing

Blocks 3 & 4 of the NEE Precinct are located within the Newcastle City Centre Heritage Conservation Area (C4) listed in Part 2, Schedule 5 of the Newcastle Local Environmental Plan (LEP) 2012. The Municipal Building, located at 122-132 Hunter Street (item no. I403) is also listed as a heritage item of local significance under Part 1, Schedule 5 of the Newcastle LEP 2012.



1.5. Proposal

As previously detailed, a Staged Development Application (DA2017/00701) for a concept proposal for a major redevelopment of the NEE Precinct along Hunter Street Mall was approved by the JRPP on 21 December 2017. As part of the approval, the following condition of consent was identified in relation to heritage:

European Built Heritage

14) This development consent does not grant consent to any proposed physical works (including as proposed within the concept plan to which this consent applies) to heritage items and contributory items within the site will be subject to a detailed assessment of each development application which is to be accompanied by:

A Statement of Heritage Impact that:

- *Responds to the recommendations (Section 6.0) of the Statement of Heritage Impact submitted for the Staged Concept Plan (TKD, October 2015) and any other conditions within this development consent;*
- *Addresses the relevant statutory and non-statutory controls including but not limited to NLEP 2012 and NDCP 2012;*
- *Is informed by the Conservation Management Plan;*
- *Pursues opportunities for the interpretation of the precinct through the design of any new elements and public art.*

The Stages 3 & 4 DA proposal is for a mixed use residential and retail development within Blocks 3 & 4. The works involve complete demolition of buildings not identified as heritage or contributory buildings and the construction of two separate buildings, connected by a landscaped laneway at ground floor level. The proposal also involves the adaptive reuse of the former Municipal Building for residential purposes with ground floor functioning as retail premises. The redevelopment works also include reuse of two contributory buildings located within Block 4 of the NEE Precinct including the former Sanitarium Building and the commercial Building at 105 Hunter Street. The works include retention of the significant facades as well as combining the building to be used for both residential and commercial/retail purposes, similar to that of Municipal Building.

Specific works proposed to the heritage and contributory buildings, in summary, comprise the following:

Municipal Building (113-121 Hunter Street):

- Adaptive reuse of the Municipal Building involving retention of the historic façades fronting Hunter Street and Morgan Street, partial demolition of the western wall to reconstruct a new wall that is structurally stable, and conversion into a mixed use building with commercial/retail facilities at ground floor level and residential apartments with a new addition above;
- Restoration, retention and service of the significant façade, finishes and engaged piers along Hunter Street and Morgan Street;
- Demolition of the contemporary existing awning structure;
- Original internal finishes are to be retained including Hunter and Morgan Street walls (of high significance), floors and ceilings where possible;
- Demolition of the commercial/retail spaces at ground floor level;
- Demolition of existing roof structure to accommodate the new rooftop common areas;
- Retail/ commercial uses at ground floor level;
- 1 bedroom and 2 Bedroom residential apartments on levels one and two;
- Brick salvaged from demolition works to the Municipal Building will be retained for potential future use where possible depending on the condition and heritage significance of the bricks.

Former Sanitarium Building (111 Hunter Street)

- Retention of the significant façade, finishes and parapet detailing along Hunter and Morgan Streets;
- Retention and protection of the existing windows during construction;

- Existing shopfront to be removed and replaced;
- Existing awning structure to be removed and replaced;
- Demolition of later additions, including all internal walls, all floors, and the roof structure;
- Incorporation of the building façade into the proposed redevelopment for residential and commercial use.

Commercial Building (105 Hunter Street)

- Retention of the significant façade, finishes and bay windows detailing along Hunter and Morgan Streets;
- Demolition of later additions, including all internal walls, all floors, and the roof structure;
- Create openings in the parapet to match the existing border detailing;
- Removal of the existing ground floor shopfront windows;
- Development of the new openings for the proposed shopfront;
- Demolition of the lift core and shift overrun and retention of the existing timber lift car from automatic elevator by Standard-Waygood Limited in the new building for interpretation;
- Incorporation of the building façade into the proposed redevelopment for residential and commercial use.

Other Buildings at 109 Hunter Street, 3 Morgan Street and 22 Newcomen Street (Blackall House):

- Complete demolition of the structures located at these sites along with associated paving, landscape elements, façade detailing, etc.
- Recycle and reuse the materials from the demolished structures, where possible.

The proposal has been prepared by SJB Architects, Durbach Block Jaggers and Curious Projects, in consultation with CPH. The key design principles employed in the design include the following:

Respecting Heritage

- Key heritage and contributory elements to be retained and celebrated;
- New development 'guided' by the character of the site and respond to the lot grain, vertical articulation and horizontal datums of significant heritage buildings;
- Bulk, scale and proportions of vertical additions relate and are sympathetic to the original building;
- New additions to provide a backdrop to detailed parapets and allow heritage corners to be revealed.

Playful Skyline

- Undulating parapet references as a design principle are to be used to create a 'playful skyline' breaking down the scale and mass of the building at the upper level.

Celebrating the Corner

- New development to respond to the existing street alignment of significant heritage buildings and provide a subservient response to existing finely detailed feature elements where required;
- Infill development to further establish the existing perimeter block typology and respond to the corner conditions of heritage buildings at opposing corners;
- Additions to the heritage buildings will provide a bookend to the site and compliment adjacent developments on Block 2;
- Additions to the heritage buildings will provide an interrelationship of corner built forms within the site.

Verticality and Scale

- Infill development to respond to the existing lot grain of the site, creating a cluster of heritage buildings and contemporary additions;
- New development to pick up on the vertical rhythm of existing heritage buildings through articulation and fenestrations.

The following heritage principles have also been employed in the proposed design and devised in consultation with CPH:

- Retain and celebrate key heritage elements and contributory items on site;
- Remove unsympathetic additions to reveal and activate key elements;
- Ensure key view corridors and vistas are maintained and preserved;
- Maintain the established street-wall character;
- Appropriate upper level setbacks to be determined by consideration of heritage elements, existing predominate setbacks, street wall heights and planning controls;
- Ensure the scale and proportions of vertical additions relate to, and are sympathetic to, the original building;
- Reduce the scale and dominance of additions through articulations (e.g. bays, reveals etc);
- Fenestrations should be simple and sympathetic to heritage and contributory buildings but not mimic their historic character;
- Materials and finishes to compliment form, colours, building techniques and traditional details of historic buildings.

The following drawings were reviewed during production of this report. For further information, reference should be made to the submitted drawings and associated reports.

Curious Projects (March 2023)			
Date	Title	Drawing No	Revision
08.03.2023	Demolition/Retention - 4N - Site Plan	DA-4N-1001	1
08.03.2023	Demolition/Retention - 4N - North Elevation	DA-4N-1002	1
08.03.2023	Demolition/Retention - 4N - West Elevation	DA-4N-1003	1
08.03.2023	Demolition/Retention - 4N - East Elevation	DA-4N-1004	1

Durbach Block Jiggers (March 2023)			
Date	Title	Drawing No	Revision
08.03.2023	Demolition Plan - 3E - Ground Level	DA-3E-0251	A
08.03.2023	Demolition Plan - 3E - Level 1	DA-3E-0252	A
08.03.2023	Demolition Plan - 3E - Level 2	DA-3E-0253	A
08.03.2023	Demolition Plan - 3E - Roof Plan	DA-3E-0254	A
08.03.2023	Demolition Elevations - 3E - North and East	DA-3E-0271	A
08.03.2023	Elevations - 3E - South Elevation	DA-3E-0272	A

SJB Architects, Durbach Block Jaggers, & Curious Projects (2022)

Date	Title	Drawing No	Revision
25.10.2022	Floor Plan - Precinct - Ground - (Hunter Street Ground)	A-PR-0105	4
28.09.2022	Section 01	A-PR-0701	2
28.09.2022	Section 01	A-PR-0701	2
28.09.2022	Section 02	A-PR-0702	2
26.09.2022	Section 03	A-PR-0703	1
05.12.2022	Overall Elevations - Precinct - North	DA-PR-0351	3
05.12.2022	Overall Elevations - Precinct - South	DA-PR-0352	3
05.12.2022	Overall Elevations - Precinct - East	DA-PR-0353	3
05.12.2022	Overall Elevations - Precinct - West	DA-PR-0354	3

Relevant Reports

The following previous studies and reports were reviewed during production of this report. Relevant information has been included where necessary:

- Conservation Management Plan for Blocks 3 & 4 of Newcastle East End Precinct prepared by CPH, March 2023.

1.6. Methodology

This HIS relates to the redevelopment of Blocks 3 and 4 located within the Newcastle East End Precinct. It has been prepared in accordance with the Heritage NSW publications, *Statements of Heritage Impact, 2002* and *Assessing Heritage Significance, 2001*. It is also guided by the philosophy and processes included in *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013* (Burra Charter).

The subject proposal has been assessed in relation to the relevant controls and provisions contained within the Newcastle Local Environmental Plan (LEP) 2012 and the Newcastle Development Control Plan (DCP) 2012. It forms one of a collection of specialist reports.

Research for this HIS has adopted a two-stepped approach. Step 1 comprised a desktop assessment and Step 2 was a site survey. This document provides the combined findings and recommendations resulting from this approach.

Step 1

The background information and historical development of the subject sites have been incorporated from the CMP (March 2023). In addition, the Aboriginal Heritage Information Management System (AHIMS) was searched to establish the location and background information on any Aboriginal objects or Aboriginal Places that are known to have special significance with respect to Aboriginal culture. Further, the Newcastle LEP 2012 and the SHR were examined to determine the known heritage values of the subject sites located within Blocks 3 & 4 of the NEE Precinct.

Step 2

Various site surveys and investigations of the subject sites were carried out by Kerime Danis, Director at City Plan Heritage between February 2017 and March 2023 with the purpose of photographing and understanding the place. All results are presented in *Section 2 - Site Context and Description*.

1.7. Constraints and limitations

- Accurate measured drawings do not form part of this assessment.
- This report does not include a heritage landscape assessment.
- This report does not form part of the complying building certificate process.
- The assessment in this report relates to the proposed works and documentation described in Section 1.5 - Proposal and Section 1.6 - Methodology. It does not relate to any additional or revised documentation by any party.
- This report does not include for an archaeological assessment or an assessment of Aboriginal values. An assessment of the Aboriginal cultural significance of an area can only be made by Aboriginal communities.
- Only a visual assessment of the subject site was carried out. Intrusive methods were not employed. Iris Capital has made intrusions to the later partition walls and small areas of brick walls in order to allow investigations for the structural integrity and condition of the walls in the Municipal Building.

1.8. Author Identification

The following report has been prepared by Asmita Bhasin, Heritage Consultant (MUrbanism (HerCons), BArch, M.ICONOS) and Kerime Danis, Director - Heritage (BArch, MHeritCons (Hons), Associate RAIA, M.ICONOS, NMAS) who has also reviewed and endorsed its content.

2. SITE CONTEXT AND DESCRIPTION

2.1. Site Context - Entire Study Area

The Newcastle East End Precinct is located approximately 170km north of the Sydney Central Business District (CBD). It is located in a mixed residential and commercial area, encompassed within the local government area of Newcastle City Council.

The Newcastle East End Precinct is located across four city blocks bounded by Hunter Street to the north, Newcomen Street to the east, King Street to the south and Perkins Street to the west. The Precinct consists of five city blocks, four of which are the subject of this report. These blocks are separated by various streets including Morgan Street, Laing Street, Thorn Street and Wolfe Street. Hunter Street, which runs east-west along the northern boundary of the Precinct, is a main commercial strip and features various restaurants and shops.

The Precinct is located on a steep topography that slopes down toward Hunter Street and is raised towards King Street.

Located directly south of the Precinct is the Christ Church Cathedral and associated cemetery, Newcastle Grammar School and the Newcastle East Public School. Located to the north are Scott Street, Wharf Road and the Queens Wharf which services the Stockton-Newcastle ferry over the Hunter River.

The immediate built environment surrounding the Newcastle East End Precinct consists of a mixture of commercial, community and residential developments and is located within the heart of the Newcastle CBD.

The Newcastle City Centre HCA is described on the State Heritage Database as follows¹:

The HCA is the urban core of Newcastle and has been the centre of activities since its settlement in 1804. As such, it is highly significant as a place which can evoke a sense of its past through the street layout, building fabric, sandstone retaining walls and kerbing, and its archaeological layers surviving beneath the modern streets and buildings. The CBD is essentially a narrow peninsula bounded on one side by the harbour, the other the sea, and at the western extremity by the arc of the Hunter river estuary. The street system is a grid laid out in street widths by Surveyor general Henry Dangar in 1828. This has not changed to this day although there has been significant reclamation of the foreshore to create Scott Street and the land the railway sits upon. Of special significance is the area of the Market place which still functions as a shopping precinct today - this can be seen on Dangar's 1828 town plan. One of the early convict coal mines was located under the present day location of Market Square shopping centre.

The following images provide an overview of the site's context:

¹ NSW State Heritage Inventory Database form for "Newcastle City Centre Heritage Conservation Area," form no. 2173904, accessed 16 February 2017 via <http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2173904>



Figure 5: View from the corner of Newcomen and King Street, looking south west towards the Christ Church Cathedral



Figure 6: General views of the surrounding area towards the intersection with Newcomen and King Street.



Figure 7: General views of the King Street and Newcomen Street intersection (left) and the Council carpark, which has since been demolished - see Figure 9 below, is not part of the study area but located in proximity (right).

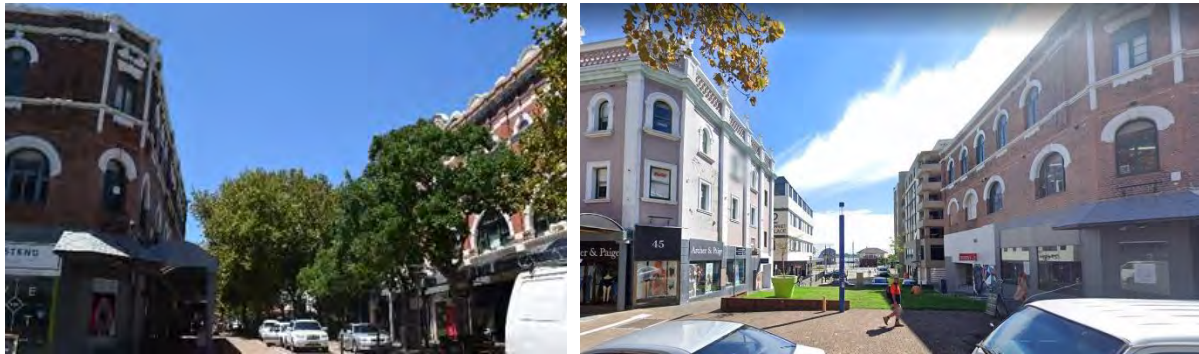


Figure 8: General view of Hunter Street looking east from Block 3 buildings (left) and view looking north from the study area towards the water (right - Google Street view).



Figure 9: View of Wolfe Street from King street looking towards the water (left) and a general view of Hunter Street from the study area (right).

2.2. Site Description

The buildings that are the subject of this report include the following:

Block 3

- 113-121 Hunter Street
- 123-141 Hunter Street
- **Block 4**
 - 111 Hunter Street
 - 109 Hunter Street
 - 105 Hunter Street
 - 3 Morgan Street
 - 22 Newcomen Street
 - 66-74 King Street (also known as 1 Morgan Street)

The following sections explore each of Block 3 and Block 4 separately and the various buildings located within these two blocks.

2.2.1. Block 3

The block includes the following buildings, of which only those in bold are the subject of this report:

- **113-121 Hunter Street;**
- **123-141 Hunter Street.**

Block 3 is bounded to the north by Hunter Street, to the east by Morgan Street, to the south by Laing Street and to the west by Thorn Street. The block is rectangular in shape and currently consists of two buildings that are partially interconnected internally. 113-121 Hunter Street wraps around the western and southern sections of the block while 123-141 Hunter Street is located on the corner of Hunter and Morgan Streets. Both buildings date from very different periods of development dating from the late 19th century (123-141 Hunter Street) to the 1980s (113-121 Hunter Street).

The following images provide an overview of the buildings located within Block 3 with the subsequent paragraphs exploring each of the subject buildings located within the block.



Figure 10: Street map showing the various buildings located on Block 3 with the building in red being those that are the subject of this report. The buildings in cream are outside the scope of this report. (Source: SIX Maps accessed 16 February 2016)



Figure 11: Aerial view showing the various buildings located in Block 3 with the buildings in red being those that are the subject of this report. The buildings not coloured are outside of the scope of this report. (Source: SIX Maps accessed 16 February 2017)



Figure 12: View looking north towards the southern elevations of Block 3 buildings (left) and view looking south east towards the corner of Block 4 buildings (right).



Figure 13: Views looking east along Hunter Street with Block 3 buildings visible to the right.

2.2.1.1. 123-141 Hunter Street

Located at 123-141 Hunter Street is a building dating from the 1980s and known as the Hunter Street Mall complex. The building occupies most of Block 3 and is organised in an L-shape. The building generally consists of two stories and has a prominent frontage to Hunter Street. This façade is of face brick and features shopfronts at ground level shaded by a contemporary domed awning. Above the awning level the façade has a high parapet consisting of various different shapes including triangles and scroll-like pattern. This pattern is repeated in the western façade of the building.

To the rear is a small courtyard area and an extension to the building that continues east. This extension consists of 4 stories and the northern façade reflects the façade detailing to adjacent former Municipal building located at 113-121 Hunter Street. This section of the mall used to provide internal access and a walkway to the Council carpark, now demolished.



Figure 14: View of the southern façade and walkway leading to the Council carpark, which is now being demolished (left). The view on the right is of the central courtyard and building to the rear.



Figure 15: View of 113-121 Hunter Street as viewed from the corner of Hunter and Thorn Streets.



Figure 16: View of the corner of Thorn and Laing Streets (left) and a view looking north with the western façade of the building visible to the right (right).

2.2.1.2. 113-121 Hunter Street

The Municipal Building located at 113-121 Hunter Street is noted as being a contributory building in the TKD report from October 2015.

Originally designed by T.W. Silk in the Federation Free style in 1908, this Municipal building was one of the last buildings erected by the Newcastle Borough Council in an attempt to revitalise the retail hub of the city². It is significant for its siting over a portion of the market square reserve set aside in Henry Dangar's town plan of 1822. Dangar's plan organised Newcastle by planning out areas for schools, churches, municipal buildings, of which this is one, and the surrounding streets of Hunter, Thorn, and Morgan Streets relevant to this report³. The layout was a grid of three east-west as well as seven north-south streets, with a central axis at Christ Church, descending to a broad market at Hunter Street (what is now Market Square)⁴.

The commercial building next to the former Municipal Building of 1908 continues to act as part of the Hunter Street Mall (marketplace) on either side of Hunter Street. The block size is 3393m²⁵.

Currently, the building is adjacent to a series of retail outlets that form the Hunter Street markets, most notably the former Rivers superstore (now vacant) along the Hunter Street front. The retail outlets of these markets continue into the Municipal building, which has been repurposed as part of the commercial centre, housing a variety of retail entities, only the heritage façade of the building being retained. This is in line with the 'Integrity and viability' guiding principle of the strategic planning for Newcastle's urban renewal which emphasises the growth and development of the city centre while reinforcing the integrity and uniqueness of the Newcastle⁶. This reflects the continued historical development of Newcastle from an industrial coal mining centre to one of increased commercial and retail development in alignment with the increased population⁷. Presently, Hunter Street Mall runs between 105 and 169 Hunter Street, Newcastle.

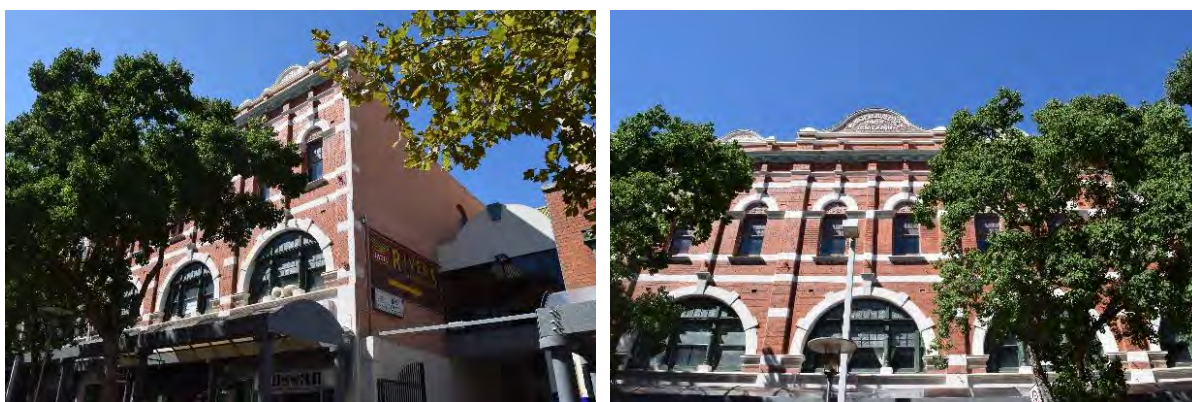


Figure 17: Views of the Hunter Street façade of the former Municipal building.

² Newcastle City Council, 'Newcastle by Design,' p.1, accessed 8 March 2017 via http://121.50.208.46/newcastle/Newcastle_by_Design.pdf

³ Ibid, p 2

⁴ The City of Newcastle, 'Heritage Strategy 2013-2017,' p. 7, pp. 1-32. Accessed 15 March 2017, from http://www.newcastle.nsw.gov.au/Newcastle/media/Documents/Strategies.%20Plans%20and%20Policies/Strategies/Heritage_Strategy_2013_2017.pdf.

⁵ '121 Hunter Street, lot 32 Plan DP864001,' accessed 9 March 2017 from <https://www.allhomes.com.au/ah/research/121-hunter-street-newcastle-nsw-2300/20722116711>

⁶ NSW Government, Planning and Infrastructure, 'Newcastle Urban Renewal Strategy 2012,' p. 19, pp. 1-33

⁷ National Library of Australia, Dungog Chronicle Tuesday 15 June 1937, 'Newcastle as a Market.' Accessed 9 March 2017 from <http://trove.nla.gov.au/newspaper/article/141521191?searchTerm=newcastle%20market%20place&searchLimits>

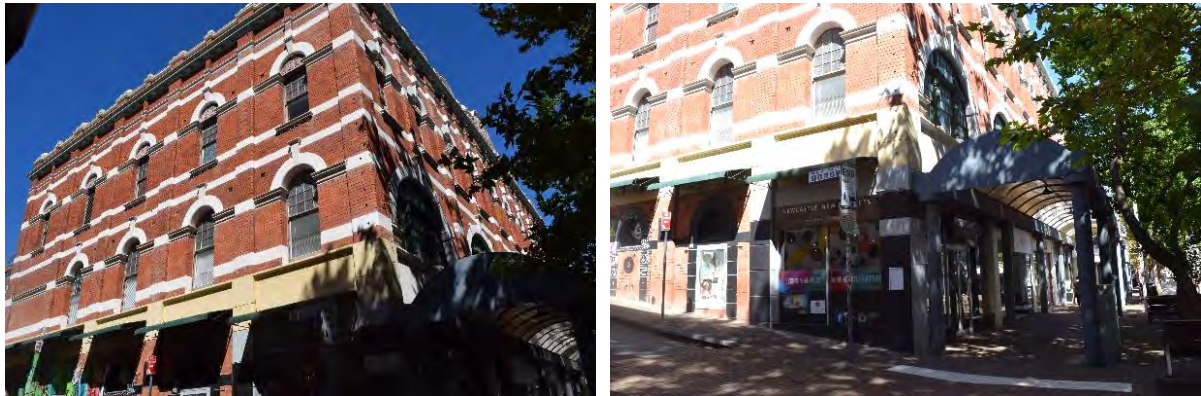


Figure 18: Views of the eastern façade of the former Municipal building.

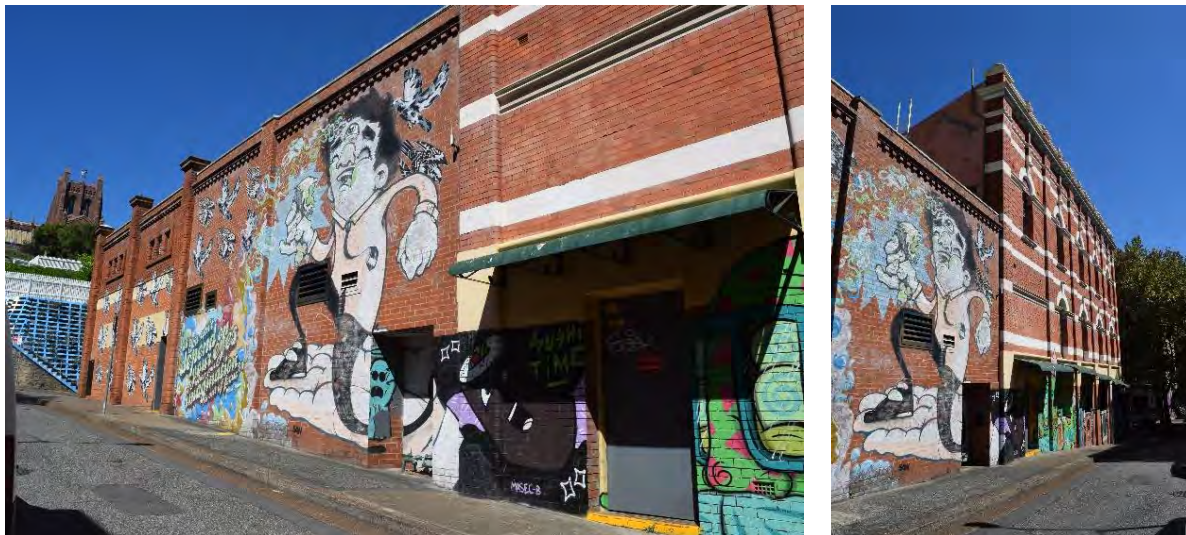


Figure 19: Detailed views of the south eastern façade of the building.

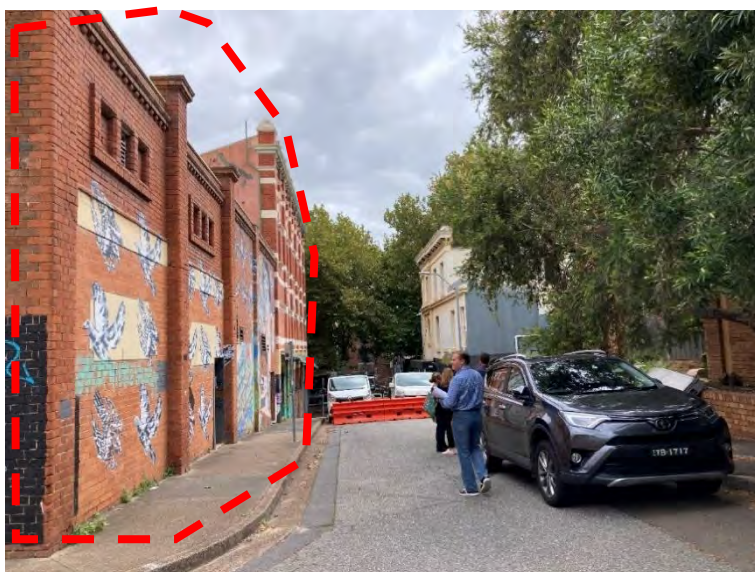


Figure 20: View looking north along Morgan Street with the Municipal building visible to the left.

Interior

The building has been significantly modified internally and currently consists of ground floor commercial spaces predominately occupied by clothing stores and offices suites to the first and second floors. The configuration of the suites and floors are mostly the same throughout with some slight differences present in the fittings installed by various occupants.

Internal access was not gained to the ground floor commercial tenancies; however, the following images provide an overview of the current condition and configuration of the former Municipal building.

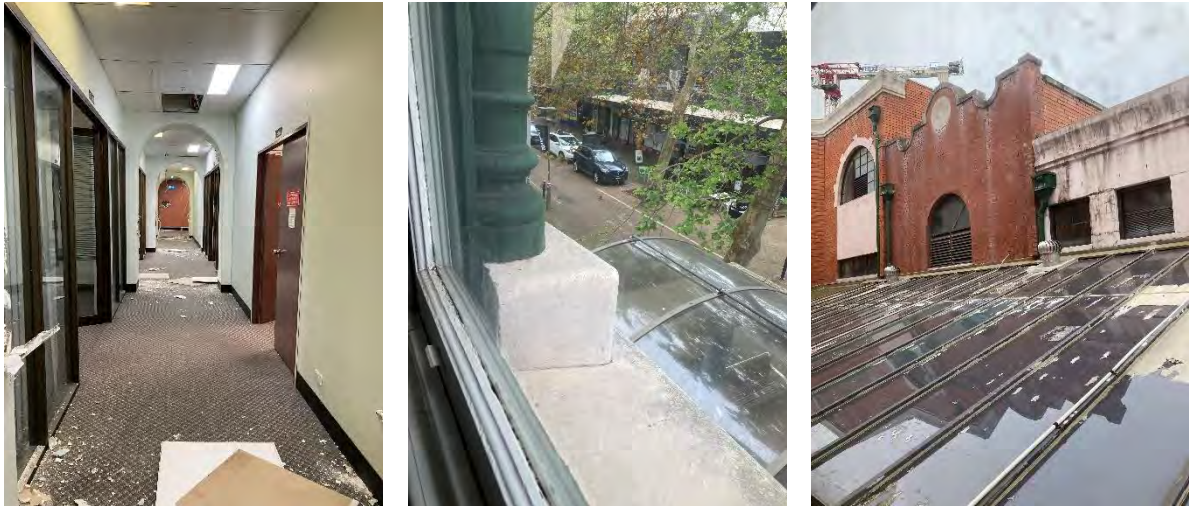


Figure 21: Internal views of the former Municipal building showing a central hallway (left), detail of a window facing Hunter Street (centre) and entrance leading to a later 1980s overpass extension (right).

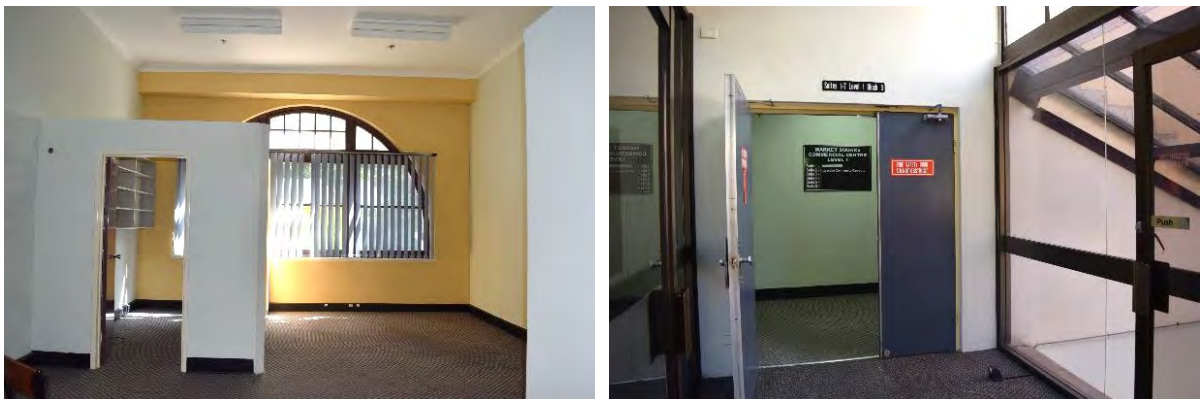


Figure 22: Internal views of an office space within the building (left) and a hallway exit (right).

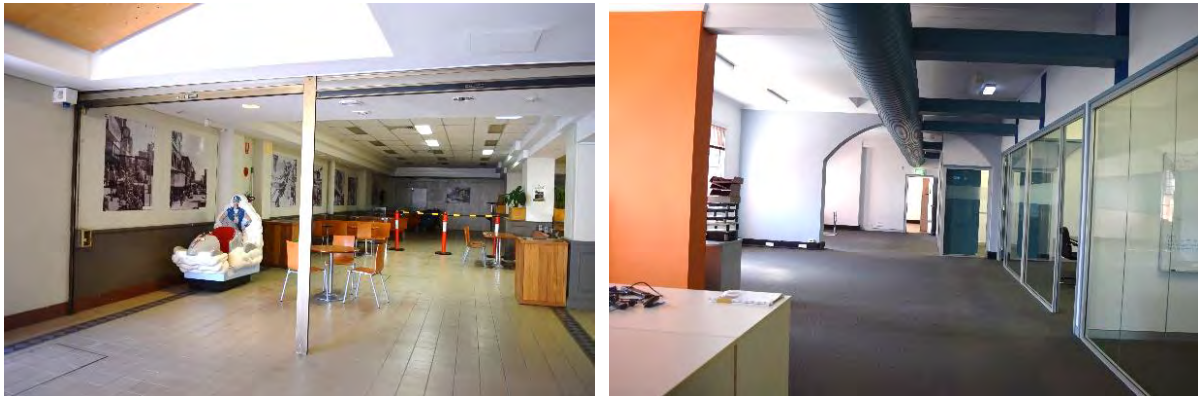


Figure 23: Within the building is a small food court accessible via Hunter Street (left). The image on the right is an internal view of an office located on the second floor.

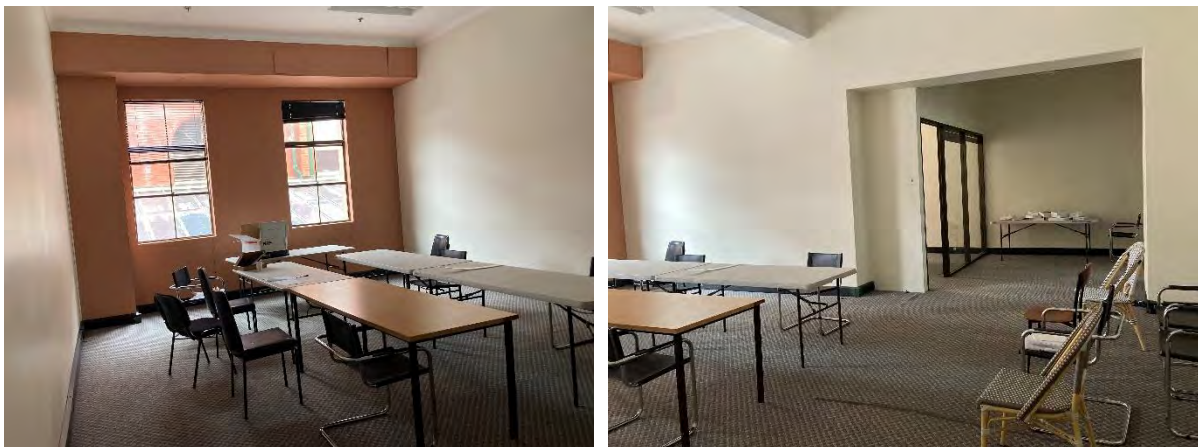


Figure 24: Internal views of the office space located on the second floor.

2.2.2. Block 4

The block includes the following buildings, of which only those in bold are the subject of this report:

- 111 Hunter Street;
- 109 Hunter Street;
- 105 Hunter Street;
- 3 Morgan Street;
- 22 Newcomen Street;
- 66-74 King Street and 1 Morgan Street (located within the same Lot and DP);
- 16-18 Newcomen Street (not part of the NEE precinct); and
- 103 Hunter Street (not part of the NEE precinct)

Block 4 is irregular in shape and divided into 8 separate allotments, with the largest being 3 Morgan Street. The buildings fronting Hunter Street directly about one another and are in a terrace style while the buildings to the rear of the block are generally free standing. The centre of the block is also divided by a small parking area, associated with 66-74 King Street.

The character of the buildings located within the block greatly differ and most were developed at differing periods. The topography of the block inclines towards King Street and as such, the buildings to the south

(66-74 King Street, 3 Morgan Street and 22 Newcomen Street) are located on higher ground to the buildings facing Hunter Street.

The following images provide an overview of the buildings located within Block B with the subsequent paragraphs exploring each of the subject buildings located within the block.



Figure 25: Street map showing the various buildings located on Block 4 with the building in red being those that are the subject of this report. The buildings in green are not owned by Iris Capital and are outside the scope of this report. (Source: SIX Maps)



Figure 26: Aerial view showing the various buildings located in Block 4 with the buildings in red being those that are the subject of this report. The building in green are not owned by Iris Capital and are outside of the scope of this report. (Source: SIX Maps)



Figure 27: View of Hunter Street looking west from Newcomen Street with Block 4 visible to the left (left) and view of Newcomen Street with 103 Hunter Street and 16-18 Newcomen Street visible (right). Both these buildings are not the subject of this report.



Figure 28: View of Newcomen Street looking north west towards Block 4 buildings (left) and view of King Street from Newcomen Street looking south west with Block 4 visible to the right (right).



Figure 29: View looking north along Morgan Street to the west of Block 4 buildings, accessible via King Street (left) and view looking north east towards Block 4 and other buildings within Hunter Street (right).



Figure 30: View from the section of Morgan Street accessible from King Street, looking north towards Morgan Street with Block 4 buildings visible to the right (left) and view of Morgan Street looking north (right).

2.2.2.1. 111 Hunter Street

The commercial terrace building located at 111 Hunter Street is in the Victorian Free Classical style and was constructed in c.1890. Located on the corner of Hunter and Morgan Streets, the building has a prominent splayed corner and geometric form that is echoed in the architectural and decorative detailing present within the façade. The principal elevation of the building is to Hunter Street; however, the faceted

design of the corner of the building and splayed entrance gives equal prominence to the Morgan Street façade. The site is rectangular in shape with access available on foot to the rear of the building where a set of stairs leading to 3 Morgan Street are located. It is noted as being a contributory building in the TKD report from October 2015.

The building consists of three stories, with the ground floor having been modified numerous times since construction to accommodate the various requirements of previous ground floor commercial tenancies including a jeweller, hat and cap manufacturer and a café. In addition, there was once a wrap-around veranda as seen in Figure 32, which was later removed along with the awning posts. The awning is a later replacement.

Changes have been made below the awning to accommodate the café and clothing store that currently occupy the ground floor of the building. The café, which occupies the corner store, includes a large bi-fold door opening to Hunter Street and a service window to Morgan Street. Centrally placed within the Hunter Street entrance to the café is a large pillar, installed at a later date to support the awning. The original splayed corner no longer exists, and the ground floor café's Hunter Street façade is set further back than the neighbouring stores. The café façade has also been painted in a series of coloured hexagons. Towards the rear along Morgan Street is an entrance with a striped hooded awning, that leads to the upper levels of the building.

The clothing store "Bling" most recently occupied the eastern-most store within the ground floor of 111 Hunter Street. As previously detailed, the shopfront extends beyond the café entrance and is in alignment with neighbouring stores to the east, located within the same block. The shopfront consists of large areas of glazing for a shopfront display on either side of a central recessed entrance. Around the shopfront window is a rendered façade painted neon orange and above is the shop's sign with a prominent black and white striped background.

The awning is of a simple metal design, painted in grey. It is at a lower level to the adjoining commercial terraces to the west; however, it features an indentation on the corner, reflecting the original splayed entrance and faceted form of the above awning façade.

The façade above the awning is highly intact and has retained a significant amount of original architectural detailing despite the removal of the first floor verandah. The window openings are of a simple rectangular form with a prominent sill at its base. The double hung windows are of timber and appear to be original. The easternmost window on the first floor is externally clad in metal bars, painted in the same pale yellow as the façade detailing. The windows repeat in sets of two in the Hunter Street façade, one on each level in the corner section of the façade while the Morgan Street façade has four on the first floor and three on the second floor. The first floor has one window, centrally placed, that appears to have been infilled.

Between the first and second floors is a horizontal banded string course in a stepped cornice-like design, painted in a pale yellow colour, which adds contrast to the cream coloured façade. Within the second floor façade is a similar trim on a smaller scale above the windows in addition to a set of Corinthian style columns that frame the windows in sets of two. These columns do not appear in the first floor façade, possibly as it was predominately obscured from view by the balcony that no longer remains.

Directly above the second floor windows towards Hunter Street is a series of lettering saying, "Sanitarium Building," which relates to the later use of the building, although historical research to date has not uncovered the connection. These letters have not been directly adhered to the façade and as a result, project a shadow onto the façade. The building is surmounted by a prominent geometric parapet with a dentilated pattern, stepped cornice design and a series of corbels. The high parapet conceals the flat roof of the building.

It should also be noted that the first floor of the building extends further south along Morgan Street than the second storey, as evident in Figure 34. There is also an air conditioning unit attached externally to the awning and first floor window on the corner.

The following images provide an overview of the current condition and configuration of 111 Hunter Street.



Figure 31: Ralph Snowball photograph from April 1891 showing the building at 111 Hunter Street, prior to removal of the awning and balcony. At the time the site is occupied by a dentist, jeweller and hat/cap manufacturer. (Source: University of Newcastle Cultural Collections, accessed 21 March 2017 via <https://www.flickr.com/photos/uon/4862444616/in/photostream/>).



Figure 32: View of 111 Hunter Street showing the geometric form and detailing to the first and second floors (left) and a full view that shows the contrast between the modified ground level and upper levels (right).



Figure 33: View from Morgan Street of the rear of 111 Hunter Street showing the infilled window to the ground floor, the difference in length of the levels and the high parapet (left).

Interior

The ground floor of the commercial terrace building has an open retail use (currently not in use), while the upper floors reflect residential uses. The building has a central staircase, accessible via Morgan Street, with contemporary floor tiling and painted metal balustrades. The first floor has various amenities, including a kitchenette, bathrooms, and storage. All the windows on the first floor are similar rectangular, timber-framed single-hung windows with clear glazing; however, some of the windows have metal grills on the inside. The second storey of the subject commercial building has bigger rooms and spaces with carpeted flooring. The windows on the upper floor are similar, timber-framed single-hung windows, but some of the windows have textured glazing.



Figure 34: Shop front of 111 Hunter Street, view looking southwest.

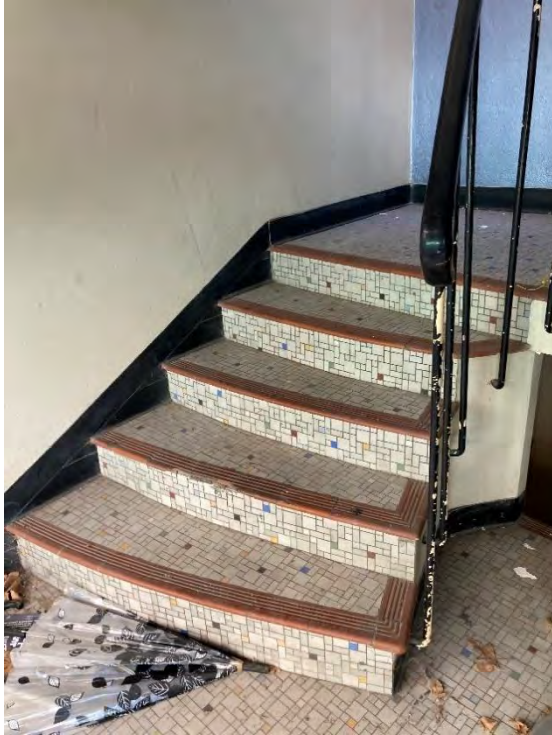


Figure 35: Staircase accessible via Morgan Street.



Figure 36: Kitchenette at first floor level.



Figure 37: Timber framed single-hung windows with metal grill.



Figure 38: Level 2 of the commercial terrace building.

2.2.2.2. 109 Hunter Street

Located at 109 Hunter Street is a two-storey commercial terrace building that was originally constructed in 1926 and located between 111 and 105 Hunter Street. The building is on a lower scale to the surrounding commercial terraces and the principal elevation is to Hunter Street. There does not appear to be any rear access available to the site. The building has been constructed of brick and painted in a cream and pale yellow colour, which reflects the colour scheme seen in 111 Hunter Street.

The building has been subjected to a series of alterations and additions both internally and externally. These works include the cladding over of the façade during the 1970s, removal and reconstruction of the bay windows, removal of the original foundation date and reinstatement with a new one and changes to the ground floor tenancy and façade, to meet the various requirements of tenants over the years. As such, the façade below the awning has been heavily modified and currently comprises of extensive sections of glazing for the creation of shopfront windows, surrounded by metal window frames. There is a central recessed entrance and a large sign above that extends the width of the store. Originally, the shopfront consisted of two alternating windows and shop windows as seen in Figure 35. The awning is larger than the adjoining sites and is on a slightly higher level than the awning of 111 Hunter Street.

Above the awning are two faceted bay windows with sloped roofs and metal framed double hung windows to each side. The bay windows are reconstruction of the original windows, following removal in the 1970s when the façade was clad over. Above is a simple arched parapet and a central foundation date of 1926 with the letters "FJ," referring to the store Fletcher Jones, which once occupied the site. The original foundation date and name plate had a different font, making and logo than the current plates. Between the bay windows is a centrally placed air conditioning unit.

The following images provide an overview of the current and historic condition and configuration of 109 Hunter Street.



Figure 39: View looking south east towards the Hunter Street façade of 109 Hunter Street (left). The image on the right dates from 1938 and shows the original shopfront below the awning, bay windows and panel between the original foundation date (right). (Source: Newcastle University Cultural Collections, accessed 21 March 2017 via <https://www.flickr.com/photos/uon/8641073669/in/photostream/>)

2.2.2.3. 105 Hunter Street

The commercial and residential terrace building located at 105 Hunter Street is in the Inter-War terrace style and dates from the late 1910s and early 1920s. It is a rectangular shaped building that occupies the entire allotment and is located between 109 and 103 Hunter Street. The primary elevation of the building is to Hunter Street, however, there does not appear to be any rear access to the building.

As with the other buildings within Block 4, 105 Hunter Street has been externally modified below the awning and this has resulted in the western section being clad in timber panelling. The two shops at ground level are not equally divided, with the eastern Subway store now vacated being slightly larger. The former Subway entrance is symmetrical while the western shop is asymmetrical. Both feature large metal framed windows and doors.

105 Hunter Street is the only building within Block 4 that does not have an awning, however, as evident in Figure 36, an awning was once located above the ground floor shopfronts.

The façades above the ground floor shopfronts to the first, second and third stories are identical and highly symmetrical. On each level there are two faceted bay windows at each level separated by a dentilated pattern under the windowsill above. Underneath the first floor windows are three triangular corbels and on either side of the windows are vertical bands of quoining, particularly evident in the corners of the building.

Atop the building is a geometric parapet and a flat roof, set behind the parapet.

The following images provide an overview of the current and historic condition and configuration of 105 Hunter Streets.



Figure 40: View looking south east towards the Hunter Street façade of 105 Hunter Street (left). The image on the right shows a partial view of the building from 1938. (Source: Newcastle University Cultural Collections, accessed 21 March 2017 via <https://www.flickr.com/photos/uon/8641073669/in/photostream/>)

Interior

The subject building (109 Hunter Street) is a double-storey structure connected via an early timber automatic elevator from Standard-Waygood Limited. The first floor has varied studio spaces with amenities such as laundry and toilets connected via a corridor. The ceiling and cornices on the first floor are highly decorative, with contemporary light fittings. The walls and ceilings have started to acquire

dampness, causing the plaster to peel off. The subject building has timber-framed, single-hung windows with clear glazing and metal grills over the lower window panel attached to the window frame.



Figure 41: Timber automatic elevator from Standard-Waygood Limited.



Figure 42: Timber automatic elevator from Standard-Waygood Limited.



Figure 43: Decorated ceiling and cornice in the corridor.



Figure 44: Dampness along the internal walls with peeled-off plaster.

2.2.2.4. 3 Morgan Street

3 Morgan Street is an irregular shaped block with frontages to both Morgan and Newcomen Streets. The southern part of the block, which faces onto Newcomen Street, is currently used as a parking area for an apartment building and commercial building located at 66-74 King Street. The ground is partially covered in concrete and around the northern and eastern side is protected by a low metal fence. It is accessible via the southern section of Morgan Street, which runs along the western side of the block and terminates at the car park. Due to the topography of the site, the carparking section of the block is

separate to the northern section, which can be accessed from the southern section by a set of stairs located towards the north western corner of the carpark.

Located within the northern portion of the block is a mid-20th century Chapel, formerly known as the Calvary Chapel of Newcastle. The Chapel is a single storey building with an asymmetrical massing and prominent vertical brick pillar with a cross facing Morgan Street. The roof form consists of various asymmetrical roof planes that intersect, and the boundary is demarcated by a low orange brick retaining wall. The site also incorporates a number of trees that partially obscure the building from view as seen in Figure 37 and to the rear is dominated by a recent residential apartment development at 16-18 Newcomen Street. The building is separated from 111 Hunter Street by a set of stairs that leads to the Chapel site. Towards the northern section of the site is a two storey red brick building with a flat roof, which is incorporated as part of the Calvary Chapel site.

Also located within the 3 Morgan Street site is an Inter-War building extension located directly south of the Calvary Chapel and north of the carpark, accessible via Laing and Morgan Streets. While this building is an extension of Blackall House, it is located within the site of 3 Morgan Street and therefore is explored below.

The low orange-red brick retaining wall along the Morgan Street boundary of the Calvary Chapel continues south and increases in height, partially obscuring this section of the site from view from within the streetscape. As with the Calvary Chapel section of the site, this section includes a number of medium sized trees and bushes that partially obscures it from view from within Morgan Street. Along the southern section is a concreted driveway and a flat roofed pergola, accessible via Morgan and Laing Streets. To the east is an Inter-War extension to Blackall House (22 Newcomen Street) constructed of red brick with a pitched roof and prominent bargeboard. It appears to be a later addition to Blackall House.

The interior of the Calvary Chapel was not viewed during the site inspection conducted by CPH.

The following images provide an overview of the current condition and configuration of 3 Morgan Street.



Figure 45: View looking west from Newcomen Street towards the southern portion of 3 Morgan Street (left). The image on the right is a view looking south along Morgan Street with 3 Morgan Street and the Calvary Chapel visible to the left.



Figure 46: View looking east from Morgan Street towards the carpark located at 3 Morgan Street. The apartment building to the right is located at 1 Morgan Street.



Figure 47: View looking east of the northern section of 3 Morgan Street looking towards the principal elevation of the Calvary Chapel. Note the development to the rear and pitched roof of the Blackall House rear extension.

2.2.2.5. 22 Newcomen Street

Located at 22 Newcomen Street is a two storey Inter-War red and orange brick rectangular shaped building that was constructed in 1936 as a community hall facility for the Adult Deaf and Dumb Society of Newcastle. Known as "Blackall House," the building was named after Mrs Ruby Blackall, former Mayoress of Newcastle, who dedicated her life to the community and played a major role in the procurement of funds for construction of the building. It is noted as being non-contributory building in *Appendix C - LEP and Contributory Items* of the TKD report from October 2015 (see Appendix A).

Blackall House's primary façade is to Newcomen Street and consists of a symmetrical façade with red brickwork at the base and orange brickwork to the rest of the façade, with some intermittent horizontal bands of red bricks present, arranged in horizontal orientation. There are a number of double hung timber framed margin casement windows within the façade, either singularly placed or grouped in sets of two. The building has a centrally placed entrance surrounded by a rendered scallop shaped pattern and surmounted by a flat concrete awning. Due to the topography of the site, the front entrance is accessible via a set of stairs and a recessed portico entrance. Above the entrance is a small horizontal timber framed window with four square panes of glass. Within the base of the Newcomen Street façade is a foundation stone detailing the origins of the building and when it opened.

The building has a tiled hipped roof, which has been painted white on the underside of the eaves. Underneath the eaves are a series of timber corbels, painted in red and grouped in sets of two. There are also two original lanterns affixed to the front façade on either side of the building's name "Blackall House."

The window frames and front entrance have recently been re-painted.

The following images provide an overview of the current condition and configuration of 22 Newcomen Street.



Figure 48: View looking southwest towards the Newcomen Street elevation of Blackall House. Note the margin casement windows and pattern in the façade brickwork which employs red and orange bricks.



Figure 49: View looking northwest towards the Newcomen Street façade and southern elevation. The topography of the site partially obscures the southern elevation from view.

Interior

Blackall House has a covered, recessed entrance facing Newcomen Street with multi-paned timber framed double door. The entrance door leads to a wider access corridor, further leading to the studio space. The access corridor has a corbelled opening separating the corridor. At the entrance, to the right, is a timber, dog-legged staircase with a storage room at the back. The timber staircase has a timber balustrade with timber wall string. Adjacent to the ground floor studio is the pantry and toilets. The toilets have contemporary plumbing fittings and fixtures with tessellated floor tiling.

At the end of the corridor/hallway is the studio, with an exposed sloped ceiling. The roof of the studio is supported over timber beams and bracing with temporary HVAC equipment running in between. The windows in the studio are double-framed, single-hung windows with simple cover mouldings. The studio has a raised platform (the stage) with enclosed storage spaces on both sides. The walls facing the exterior within the studio have wall air vents above the windows. The sloped ceiling within the studio also has wider air vents with timber lattice covering. The building is currently being used as a studio for various classes, including Zumba.

The pantry located adjacent to the studio has a dado with chair rail detailing; the dado has a painted finish with vertical grooving. The pantry also has a similar, multi-paned, timber-framed single-hung window at the centre with early air vents above. A similar window with textured glazing is also located at the first landing of the dog-legged staircase in the hallway.

At the end of the staircase on the first floor is another doorway with double doors, sidelight, and transom, all with decorative leadlight textured glazing. Past the main doorway is a buffer space with a decorative plastered niche on the wall. The buffer space leads to another studio space with similar window openings. The studio space on the upper floor has a simple, flat ceiling with a pattern formed using timber battens. The studio has multi-paned, timber-framed single-hung windows, similar to the ones on the ground floor. A toilet facility is also located adjacent to the upper floor studio space with similar tessellated floor tiling partly damaged along the doorway.

The following internal images provide an overview of the current condition and configuration of 22 Newcomen Street.



Figure 50: Entrance doorway to Blackall House at 22 Newcomen Street.



Figure 51: Entrance Hallway at 22 Newcomen Street leading to the ground floor studio.

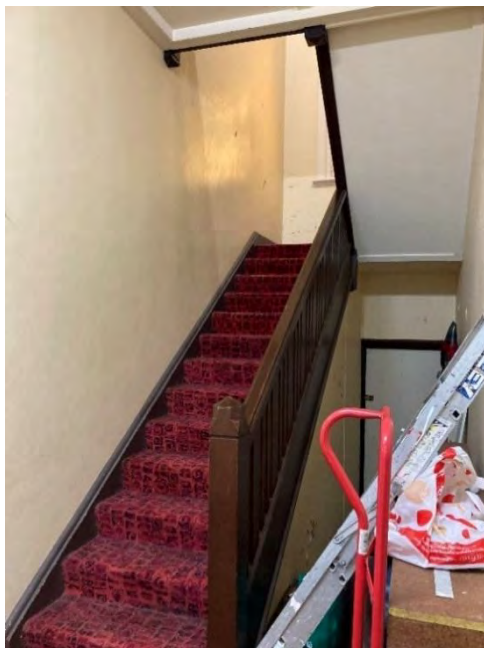


Figure 52: Dog-legged timber Staircase adjacent to the entrance hallway.



Figure 53: Toilet facility at ground floor level, adjacent to the studio.

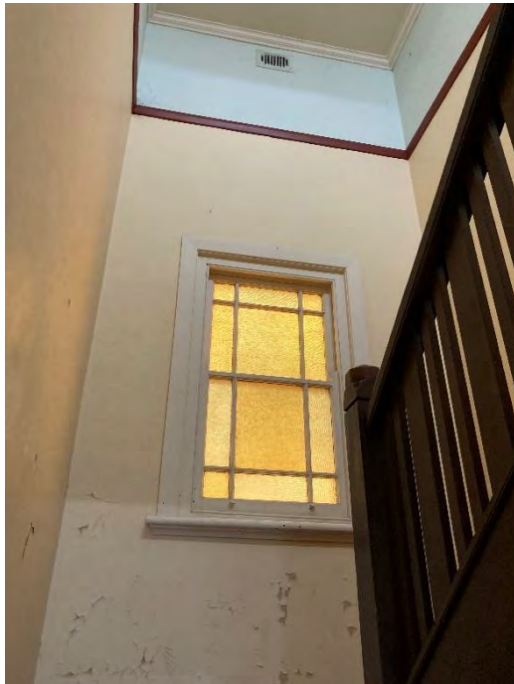


Figure 54: Multi paned, timber framed single hung window at the first landing of the timber staircase.



Figure 55: Kitchen / Pantry at ground floor level, located adjacent to the studio.



Figure 56: Ground floor studio with painted walls and raised timber platform.

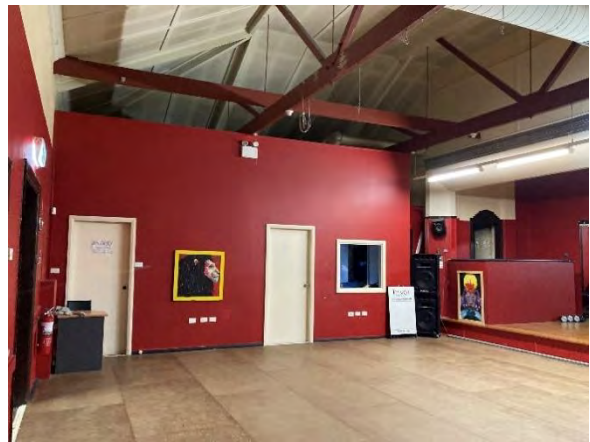


Figure 57: Ground floor studio with painted walls and sloped ceiling with early timber beams and bracing.



Figure 58: Decorative doorway at first floor level.

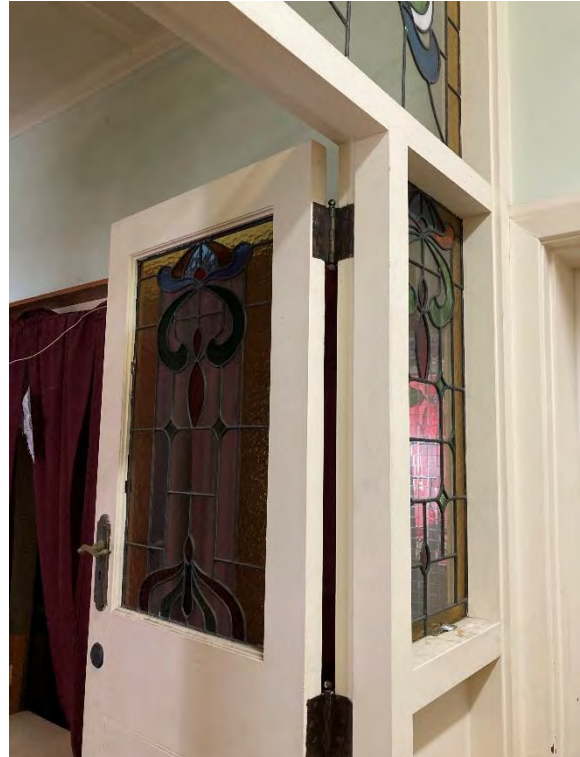


Figure 59: Timber framed doorway, transom and sidelights with decorative lead light glazing.



Figure 60: Studio with painted red walls at first floor level.



Figure 61: Studio with painted red walls at first floor level.



Figure 62: Toilet facility at first floor level.



Figure 63: Damaged tessellated floor tiling at first floor toilet facility.

2.2.2.6. 66-74 King Street and 1 Morgan Street

Located within Lot 1 of DP 819134 are three buildings including 66 and 74 King Street and 1 Morgan Street. The site is located on the highest point of Block 4 and therefore is prominently visible from within Newcomen, King, Morgan and Laing Streets.

The following descriptions explore each building located within the site separately.



Figure 64: Aerial view of Lot 1 of DP 819134 showing the various buildings located within the site. (Source: SIX Maps accessed 3 April 2017 via <https://maps.six.nsw.gov.au/>)

66 King Street

The commercial building located at 66 King Street is located on the corner of King and Newcomen Street, consists of two stories and dates from 1990s. The building is considered two storied due to the topography of the site, which slopes downwards toward the northern end and as such, creates a basement parking garage accessible from Newcomen Street.

The building is of redbrick construction and has been clad in pale green tiles along the southern and part of the eastern façade and has a wide cream coloured horizontal rendered band along the top of the King Street façade. Through the centre of the façade is a horizontal band of cream coloured tiles. The main entrance and primary façade is to King Street, which features a combination of square metal framed windows filled with glass bricks and a larger shopfront window to the corner of King and Newcomen Streets. The Newcomen Street façade features long horizontal metal framed windows.

Directly in front of the King Street building within the footpath is a low sandstone wall and a timber fence painted white. To the west of the building are two medium sized trees that provide separation between 66 King Street and neighbouring buildings.

Towards the rear of the building, to the north, is a driveway entrance that also provides access to 1 Morgan Street.

It is currently used as a club house for the Australian Men's Shed Association.

74 King Street

Located at 74 King Street is a timber and brick two storey building dating from pre-1930s. This former residence has a primary entrance to Morgan Street and is located on the corner of Morgan and King Streets. The King Street façade is prominently visible and consists of a painted brick base, horizontal timber cladding and features a series of windows that have been boarded up, however, have retained some of their timber shingle sloped window eyelids. There is a former entrance visible within this façade, however, it has also been boarded up. A prominent rendered fireplace is also visible to the roof from within King Street.

The Morgan Street façade, as with the King Street façade, has been partially boarded up and only the ground floor window has retained its timber shingle eyelid. There is also a covered and partially enclosed porch to the entrance with a painted brick base, timber posts and low pitched pyramid hipped roof clad in corrugated metal. The façade is asymmetrical in form and there is a small garden adjoining the porch, with a low brick fence, central set of stairs and metal palisade fence.

The northern façade features timber bay windows to the first and second floors with double hung sash windows to each facet of the bays.



Figure 65: Western Elevation of weatherboard residence at 74 King Street.

Interior

The entrance doorway along the western elevation of the weatherboard residence leads to an entrance hallway connected to a drawing room (formal space to entertain guests) and a living area. The two spaces are interconnected through a doorway and can be directly accessed via the entrance hallway. At the end of the hallway is the room with a timber staircase connecting with the upper floor level.

The drawing room, adjacent to the entrance hallway, has a series of triangular arched windows with leadlight glazing. Some of the windows are internally covered with timber boards to prevent unauthorised access to the residence. The room has painted timber cornices and skirting with curved beading. The living room adjacent to the hallway has a series of rectangular doors and windows with similar decorative leadlight glazing. The windows are also partly covered with timber boards, similar to the ones in the dining room. Adjacent to the living room entrance is a fireplace with a broken mantel and surround. A

decorative picture rail with brackets also runs around the living area. The living area has a timber ceiling with a cornice and a timber beam supporting the ceiling.

The living area is further connected to the kitchen and bathroom. The kitchen has a metal sink with triangular arched windows above, adjacent to the bathroom doorway. At the back of the kitchen and bathroom is a corridor leading to the backyard with a timber battened door. A storage room is also located at the back of the residence.

The timber staircase past the entrance hallway has a low-height timber balustrade and timber string. The staircase at the upper level has a few broken and missing balusters. The staircase further leads to the upper-level corridor connected to the bedrooms. The bedrooms have a similar cornice and skirting detailing with timber-framed triangular arched windows. Some of the upper floor rooms have rectangular timber framed singular windows. But, other than the various forms of window frames, all the windows have similar leadlight glass detailing. The external walls in the bedrooms also have wall air vents. One of the upper-floor bedrooms also has a fireplace with a broken mantel and surround.



Figure 66: Decorated windows in drawing room.



Figure 67: General view of ground floor living room.



Figure 68: Timber ceiling with cornice in living room.

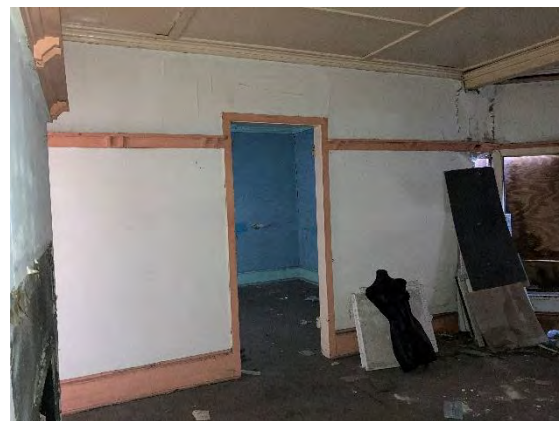


Figure 69: Door opening between living room and drawing room.



Figure 70: Fireplace in the living room with broken mantel and surround.

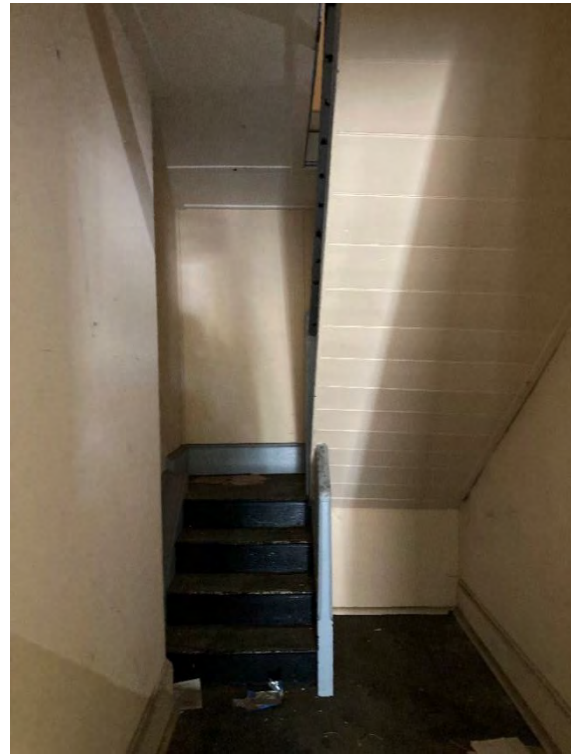


Figure 71: Timber staircase at the end of the entrance hallway.



Figure 72: Triangular arched windows in the kitchen.



Figure 73: Fireplace at upper floor level.



Figure 74: Bedroom at Level 1.



Figure 75: Bedroom at Level 1.

1 Morgan Street

The site of 1 Morgan Street is occupied by a two storey Inter-War red brick apartment building with a primary façade to Morgan Street. The Morgan Street façade is highly symmetrical with a central timber entrance, flat roof awning and brickwork arranged horizontally and vertically to create a border pattern around the windows. At ground floor level there are two double hung windows, one infilled with security mesh and in the other, a floral stained glass pattern is visible. To the first floor are two central arched double hung windows, featuring the same stained glass pattern, and two similar arched windows to either side. The two centre windows are separated by a central Corinthian style column, painted in the same cream colour as the window frames.

The Morgan Street entrance to the building consists of a central door flanked by two long rectangular windows. Above the door and windows are window transepts with a stained-glass pattern that details the name of the building "Arcadia Flats."

The roof form of the building is in a pyramid hipped shape and is clad in brown coloured tiles. Above the first floor windows, centrally placed, is a tall decorative brick parapet with scalloped edges.

The following images provide an overview of the current configuration and condition of 66-74 King Street and 1 Morgan Street.



Figure 76: Views looking west (left) and north west (right) towards the Newcomen and King Street facades of 66 King Street.



Figure 77: Views looking east and north west towards the Morgan Street (left) and King Street (right) facades of 74 King street.



Figure 78: View looking east towards 1 Morgan Street and 74 King Street (left). The image on the right is a view looking south east towards the apartment building located at 1 Morgan Street.



Figure 79: Detailed view of the front entrance to "Arcadia Flats" located at 1 Morgan Street. Note the stained glass detailing in the windows and main entrance transoms.

Interior



Figure 80: Internal view of a room in 1 Morgan Street

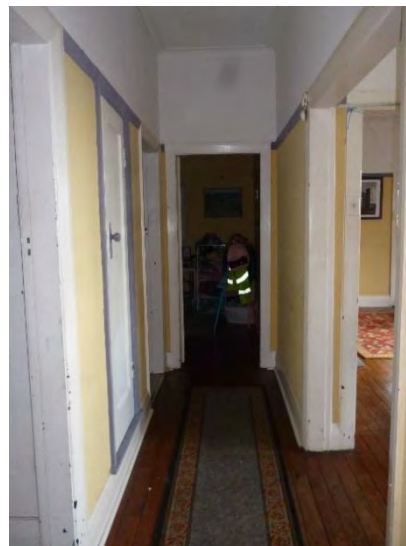


Figure 81: The main corridor in 1 Morgan Street



Figure 82: Internal view of a room in 1 Morgan Street



Figure 83: Internal view of a room in 1 Morgan Street



Figure 84: Internal view of a room in 1 Morgan Street

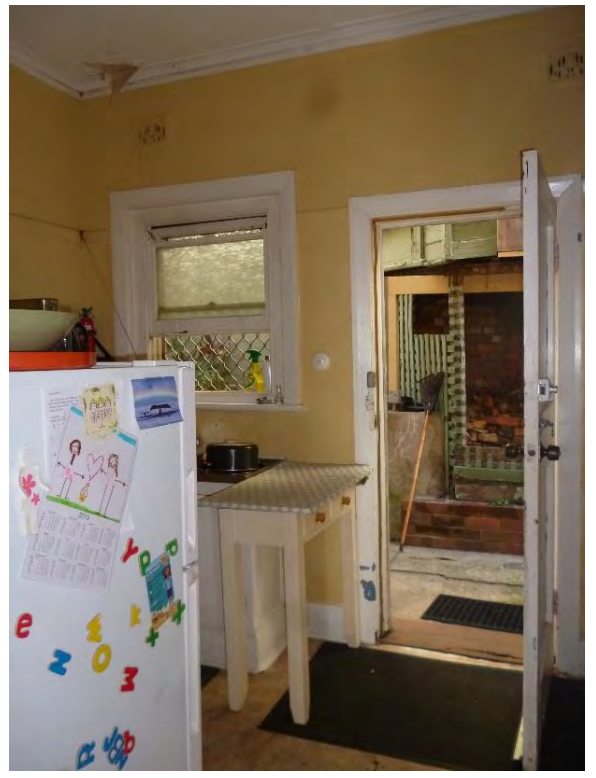


Figure 85: Kitchen and rear exit of a unit in 1 Morgan Street

3. HISTORICAL OVERVIEW

3.1. Indigenous Occupation of Newcastle⁸

The local Aboriginal tribe of Newcastle were the Awabakal whose territory included Newcastle, Lake Macquarie, Central Coast and Wyong⁹. Awabakal territory was bordered by three different tribal groups including the Kattang to the north, the Wonnarua/ Hunter River tribe (inland) and the Darkinjung located to the south. The following quote by Dr Neil Gunson, a prominent researcher of the Awabakal, provides insight into the territory and class system of the Awabakal¹⁰:

Like the other tribes the Awabakal had carefully defined boundaries, its peculiar cicatrisation marks and its local ritual. In certain broad features it had much in common with the other coastal tribes stretching south from Moreton Bay to Andersons Inlet in Victoria, tribes separated from those of the interior by the natural barrier of mountain ranges. Howitt and other pioneer anthropologists suggested that the coastal tribes either had an anomalous class system or were without a class system, and observed male descent. There was also considerable similarity in the material culture of the coastal tribes; bark huts were generally more substantial than those inland and fishing and trading took on similar characteristics.

The Department of NSW Education identifies Aboriginal tribal boundaries as also being determined by landscape features specific to each region¹¹:

...most tribal boundaries in the Hunter region were defined by a waterway or mountain. This ensured little error to recognise where the area of one tribe ended and another began. Travelling ridges on mountain boundaries were recognised as neutral; the break occurred with descent into other territory. Coastal tribes with the eastern shoreline were considered fortunate ones, but in special circumstances this boundary could be shared. For most of the NSW seaboard coastal tribes allowed inland people to make at least yearly visits to the coast for fishing and to get salt. One special occasion would be the stranding of whales on a beach. All Aborigines within a reasonable travelling distance would be invited to this feast lasting several days. One such visit is depicted by a painting at Wollombi, when the Awabakal invited the Wonnarua and Darkinjung people to partake of whale flesh high and dry at Redhead beach.

⁸ The following history of the Aboriginal occupation of the Newcastle areas has been largely compiled from LK Dyal, *Aboriginal Occupation of the Newcastle Coastline*, Hunter Natural History, Vol.4 No.3, 1971, p.p. 168-172 and *Whose Traditional Land?* By John Maynard for the University of Newcastle, undated.

⁹ Note: the Worimi tribe is identified on the City of Newcastle Council as being another tribe specific to the area, however, this is in relation to the LGA generally and not the city of Newcastle specifically

¹⁰ Quote extracted from Maynard, John, *Whose Traditional Land?*, University of Newcastle, p.16

¹¹ Department of Education, *Aborigines of the Hunter Region*, Hunter Social Studies Association, Ministry for Aboriginal Affairs, NSW, 1985, p.62

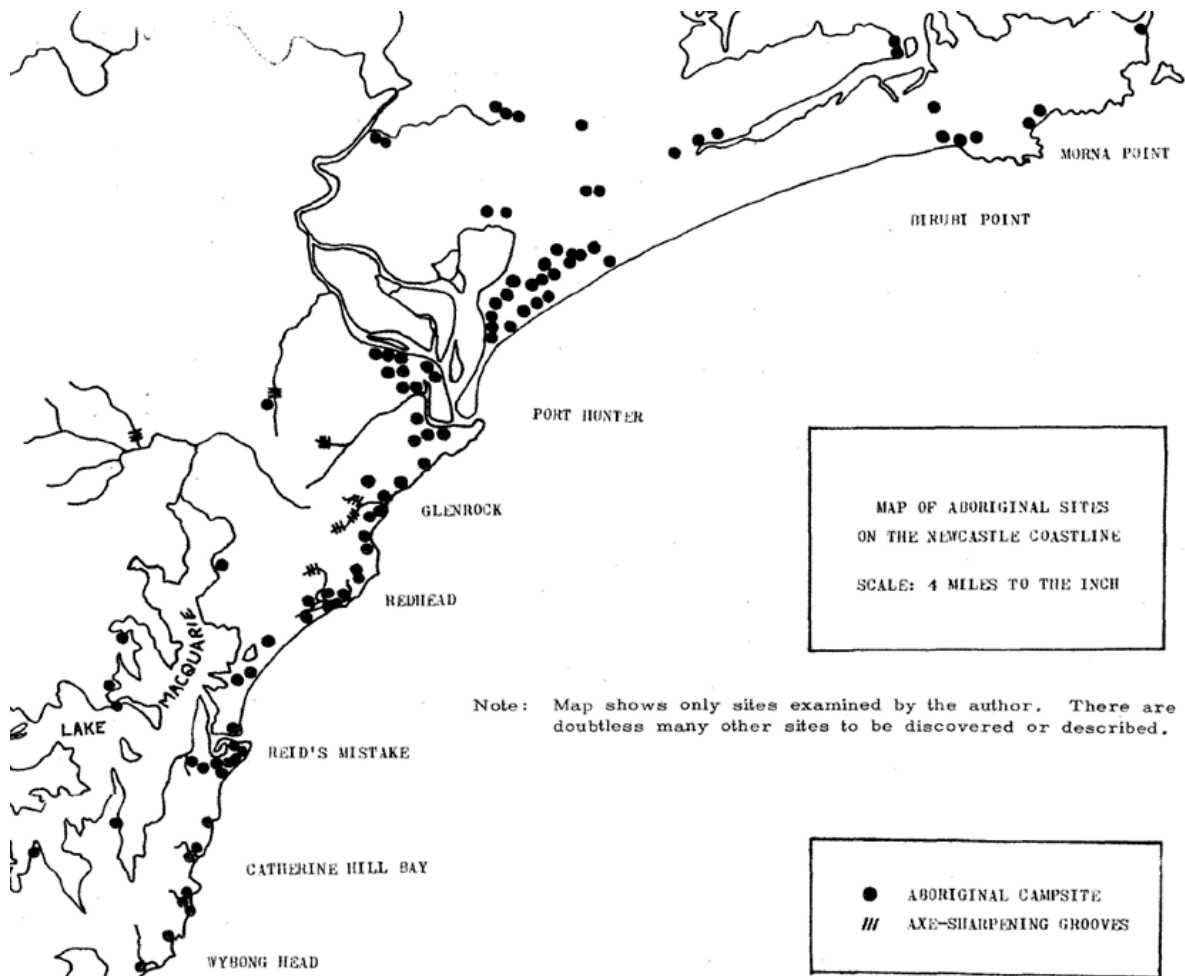


Figure 86: Map from 1971 showing various Aboriginal campsites along the Newcastle coast. (Source: *Aboriginal Occupation of the Newcastle Coastline* by LK Dyal 1971, p.15).

The Awabakal tribe were hunters and gatherers who would keep moving in order to prevent exhausting their supplies, camping at various sites for days and sometimes weeks. Most of these campsites were located near the ocean, estuarine or Lake Macquarie (Figure 86) where shellfish were plentiful. Some of the foods they would extract from these waterways included pipis, turban, winkles, rock oysters and welks. As a coastal tribe, the Awabakal were dependent on the water for the supply of fish, shellfish and waterfowl. Other foods eaten by the Awabakal include bird eggs, wild figs, honey, cabbage palms, bracken fern roots and the fruit of the *Macrozamia* (which can be lethal if not cooked properly).

It is also believed the Awabakal farmed kangaroos and would do so by burning scrublands in the winter. The grass would eventually grow back and attract kangaroos and wallabies thereby making it easier to hunt and stalk them. This practice resulted in various areas of cleared land which appeared to white settlers as "open parklands."

Ritual centres of the Awabakal are generally unknown, however, it is believed that there were some corroboree grounds at Wickham, Belmont and on the hilltops of Lake Macquarie.

The rapid decline of the Awabakal tribe after the arrival of white settlement is considered to have been predominately caused by the introduction of diseases such as smallpox and influenza. There was also a bad drought in the 1830s which is considered to have also significantly impacted on the Awabakal people. While it is believed that several thousand lived in the area prior to white settlement, in 1828 Reverend Threlkeld (well-known resident of the Newcastle area and researcher of Aboriginal culture) identified only 64 living in the area. Threlkeld had made a considerable effort to translate the bible into the local Awabakal tongue but was devastated to find the tribe had so significantly diminished, remarking at the time that his efforts were in vain.



Figure 87: Profile image of Margaret White (ca. 1827-1897) who, along with her husband Ned, their children and Ned's blind mother, were considered the last of the traditional Awabakal. Contemporary research refutes this claim and many of their descendant are alive

3.2. Early European Land Use and the Development of Newcastle

Newcastle is Australia's second oldest city having first been discovered by Europeans in 1797, largely by accident when Lieutenant John Shortland was sent in search of escaped convicts. During his travels, Shortland entered the estuary of the Hunter River and made note of the 'very fine coal river.'¹² It was later named the 'Hunter' after NSW Governor, John Hunter¹³.

In 1801, 13 years after Captain Cook sailed into Botany Bay, Governor King authorised for a group of convicts and soldiers to settle in Newcastle where they would be employed in coal mining (they also worked as woodcutters and lime-burners). This initial settlement was short lived and closed in 1802 only to be established again in 1804¹⁴. The site was initially named Kingston after the then Governor King and was later named Newcastle to reflect England's famous coal port Newcastle-upon-Tyne. Initially it was intended to accommodate the Irish convicts who had staged an uprising at Castle Hill¹⁵. Due to its isolation from Sydney, Newcastle was seen as a perfect location for a penal settlement.

By 1820 it had been decided by Governor Macquarie that Newcastle was no longer suitable as a penal settlement and in 1823 the convicts were removed to Port Macquarie by Governor Brisbane. Newcastle was proclaimed a free settlement in the same year¹⁶.

Following the removal of convicts in 1823, Newcastle began to flourish with many settlers moving to the surrounding hinterland for agricultural purposes. In 1823 Henry Dangar marked out a layout for the town based on a grid pattern with several intersecting streets based around a central Market Place and a

¹² Newcastle Urban Renewal Strategy, Department of Planning and Infrastructure, Newcastle City Council, 2013, p.30

¹³ The University of Newcastle website, "Newcastle's History", <http://www.newcastle.edu.au/about-uon/our-environments/our-campus-and-locations/newcastle/living-in-newcastle/newcastles-history>

¹⁴ NSW Government State Records, 'Newcastle Penal Establishment', <http://search.records.nsw.gov.au/agencies/2111>

¹⁵ Ibid

¹⁶ Ibid

Church site (Figure 88). The layout seen in the 1823 plan does not directly reflect the existing layout of the city street blocks of Newcastle and was modified numerous times over the subsequent years. For example, Thorn and Morgan streets (located within the Precinct) were not designated as reserved roads until 1887 and were originally part of the overall market reserve identified in Dangar's plan.

One of the first roads to develop within the new colony was Hunter Street, which was originally an inefficient dirt track surrounded by sand, scrub and bordered by the water to the north. The street was originally called Wellington Street, most likely in honour of the Duke of Wellington for his involvement in the Battle of Waterloo (June 1815). In 1823 the street was renamed and became Hunter Street following Henry Dangar's survey of Newcastle and the Hunter Valley. Hunter Street did not extend as far as it does today, but rather, only extended as far as Perkins Street. There were several other issues associated with Hunter Street including its proximity to the water which meant that it frequently flooded. This became an issue as people started to construct buildings along the street and many buildings had to be built on stilts or pillars to avoid flooding. During these early formative years, Hunter Street was much lower than it is today. Several attempts were made to realign the street and many of the early shops were lowered and infilled to bring them to street level. One example of the issues experienced includes the following:¹⁷

...one butcher shop near the corner of Hunter and Perkin Streets got lower and lower as the street got higher and higher. In the end less than two metres of the shop front was showing above Hunter Street. The butcher installed steps to allow his customers to descend to the shop and he displayed his meat at pavement level and employed a young boy to keep the bush flies away from the carcasses.

By the 1850s the Rouse Hotel had been constructed on the corner where the current former David Jones building is located. At the time, it was considered to be "in the bush," the town having only slowly developed around it¹⁸.

The following history titled "When Hunter Street was a Sand Bed" appeared in the Newcastle Sun on Monday 31 October 1938 and provides an interesting commentary on the early history of the area¹⁹:

In 1857 Hunter-street was nothing but a bed of sand (writes Mr. W. J. Goold on the reminiscences of the late Mr. Colin Christie) and the chief traffic was bullock teams. The teams pulled up at the Court House (now the Post Office) and in the vicinity of the old Ship Inn and the Criterion Hotel there was a tongue-shaped mound of sand several feet high, with grass growing on top.

An abandoned public house stood 30 feet back from the roadway, and it was here the bullock drays turned part of the old building was occupied by Ash and Norsworth. and another portion was occupied by Mr. Campbell, a bootmaker.

The Woolpack Inn stood on the site of the Commercial Bank of Sydney 'the licensee being Mr. J. B. Hewson. ' The only other hotels at this end of the town were the Caledonian and Mrs. McGreavv's both in Watt-street. The Rouse Hotel in Hunter-street was considered to be out of town.

This hotel was kept by the father of the late Mr. Harry Rouse and a large poplar tree grew on the footpath in front of the hotel. The only other business of any consequence in the main street was a shop kept by Mrs. Langham on the site of D. Miller's grocery establishment of later years.

One of the most Important businesses in Hunter-street was that kept by Mr. Spragg, who had an Ironmongers shop, attached to which was a barber shop. Spragg was the first hairdresser in Newcastle.

Commencing at the most easterly point of Newcastle was the gaol which had a larger population than that outside the walls. McCormack's shop in Bolton Street, the site of Dr. Eames's surgery in later years, was another Important business place and McCormack-avenue was named after

¹⁷ Barney, Norm, "Opinion: Story of a Sandhill," Newcastle, 19 July 2013, accessed 6 April 2017 via <http://www.theherald.com.au/story/1649797/opinion-story-of-a-sandhill/>

¹⁸ Ibid

¹⁹ "When Hunter Street Was a Sand Bed," The Newcastle Sun, Monday 31 October 1938, p.6, accessed 5 April 2017 via <http://trove.nla.gov.au/newspaper/article/167300309?searchTerm=Newcastle%20Inn%20Hunter%20Street&searchLimits>

the owner. Darby-street was named after Mr. Darby, a surveyor with whom Mr. Christie was employed, for a brief time as chain boy.

The soldiers' barracks were situated on the site of the present hospital for in sane. In 1850 Mr. Christie's mother had a school in a building at the corner of Watt and Church streets. Here ex-Alderman Miller was taught his ABC. Prior to this, Mrs. Christie had her school at the corner of Newcomen and Church streets. Another school in Church-street was conducted by Mr. Flood. The Customs House was in the building later known as the London Hotel in Market Square, Mr. (after Major) Bolton being the sub-collector.

Captain Livingstone was the harbor master and the first Chamber of Commerce was in Watt-street The School of Arts was also in Watt-street over Dalby's boot shop. The stockade was in the Customs House yard. The first post office was also there. Mr. George Tully was the post master. The office was after removed to the building at the rear of the council chambers in Watt-street, Mr. Fergus being postmaster.

A fair amount of coal was won in the fifties. The 'F' pit was where the Sea Pit was later, and there was another pit on the Hill, and a third in Church-street.

The full wagons running down to the company's chutes hauled up the empty ones. In the middle of Church-street Mr. Bennett had a smithy's shop and it was here the miners' picks were sharpened.

Mr. Christie joined the volunteers in 1803 and was one of the earliest members. He went through all the drills and was afterwards taken into the band. There were no land grants to the volunteers at this time.

The late Mr. Christie had a vivid recollection of the first municipal elections in Newcastle in 1859. The aldermen elected were: James Hannell, A. A. P. Tighe, J. Corlette, C. Bolton, P. Fleming, M. Richardson, T. Adam, R. Turton and G. Tully. Mr. Hannell was the first mayor.

None is alive to-day.

Early in the 'sixties Mr. Christie sought municipal honors and was returned for Honeysuckle Ward, and for many years he was the only surviving member of the first council he sat with. In later years Mr. Christie did good service, both as mayor and alderman.

In order to stabilise Hunter Street and the surrounding area, part of the harbour to the north was reclaimed²⁰. By the mid-1800s Newcastle was considered a major shipping and commercial centre²¹.

During the early 20th century Newcastle's industry shifted towards manufacturing and in 1915 the BHP steelworks (BHP Billiton) was established, turning Newcastle into a major centre for industry²². The city centre experienced a significant growth in commercial developments with Hunter Street developing as the retail centre of Newcastle²³.

In response to these changes and following the end of World War II, Newcastle experienced significant residential growth which resulted in the development of two large shopping centres in Charlestown and Kotara²⁴.

Some of the major industrial employers in the area, including the aforementioned BHP, were impacted by globalisation and as a result, withdrew from Newcastle²⁵. This in turn resulted in the freeing up of space within the city centre which was ripe for development. In the 1990s the Honeysuckle Development Corporation (today known as the Hunter Development Corporation) was created to organise the development of these redundant industrial sites and the former railway²⁶. As a result, much of this land, which was located along the waterfront, was developed into office spaces and high density housing²⁷.

²⁰ Barney, Norm, "Opinion: Story of a Sandhill," Newcastle, 19 July 2013, accessed 6 April 2017 via <http://www.theherald.com.au/story/1649797/opinion-story-of-a-sandhill/>

²¹ Newcastle Urban Renewal Strategy, Department of Planning and Infrastructure, Newcastle City Council, 2013, p.30

²² Newcastle Urban Renewal Strategy, Department of Planning and Infrastructure, Newcastle City Council, 2013, p.30

²³ Ibid

²⁴ Ibid

²⁵ Ibid

²⁶ Ibid, p.31

²⁷ Ibid

In response to the urban growth and development of Newcastle, Hunter Street is no longer considered the primary retail centre of the city. The residential areas of the city centre have also expanded as a result of high density residential developments that have been created over the last several decades²⁸. In 2004 the city of Newcastle celebrated its 200th birthday²⁹.



Figure 88: Henry Dangar's plan from 1823 showing the original layout of Newcastle. (Source: Newcastle Region Local Studies Library, accessed 12 April 2017 via <http://www.newcastle.nsw.gov.au/Library/Heritage-History/Search-the-Collection>)



Figure 89: 1980s copy of a painting by Ferdinand Bauer showing the settlement of Newcastle c.1804. (Source: State Library of NSW, SV1B / Newc / 1800-1809 / 1)

²⁸ Ibid

²⁹ The University of Newcastle website, "Newcastle's History", <http://www.newcastle.edu.au/about-uon/our-environments/our-campuses-and-locations/newcastle/living-in-newcastle/newcastles-history>



Figure 90: Painting by John William Lewin showing the entrance of Coal River, Newcastle, with Nobbys Island visible in the background. Dated 1807. (Source: Newcastle Region Library, 345 000214)



Figure 91: Early town plan of Newcastle dating from c.1823 showing various sites including Pirate Point (Stockton), Coal Head (Fort Scratchley), the hospital, Blackland's Salt Works and various early streets such as Perkins, King, Wolfe and Brown Streets. (Source: University of Newcastle Cultural Collections, accessed 5 April 2017 via <https://www.flickr.com/photos/8571926@N06/6913830639>)



Figure 92: An early Newcastle map that appeared in the *Illustrated Sydney News* on 8 April 1875 showing various historic landmarks including the Borough Markets, located within the study area. (Source: University of Newcastle Cultural Collections, accessed 5 April 2017 via <https://www.flickr.com/photos/uon/6913820773/in/photostream/>)

3.3. History of Blocks 3 & 4

3.3.1. Block 3

The development of Block 3 is directly related to the development of the Market Place and the Borough Markets, which were designated as Crown Land in Henry Dangar's 1823 plan (see [Figure 88](#)). Unlike Blocks 2 and 4, the site of Block 3 at the time had not been subdivided and allocated to various individuals, but rather, was designated purely for use as a Market Place. Originally the plan included a large market reserve that was later subdivided and reduced in size.

By 1869 the block had been subdivided and altered to include a smaller central space for the Newcastle Borough Market, which was surrounded by a series of smaller establishments predominately facing Hunter Street. These include H Simpson's Northumberland Hotel, J Hunter's Boot Shop, R Gibb's Newmarket Hotel, two Milliners and a Butcher. A few properties and establishments had developed to the rear including stable buildings, a Council owned property and the Blue Bell Hotel owned by C Nelson. These early buildings and residents can be seen in [Figure 92](#) alongside the Borough Market building.

Apparently, Newcastle Council once planned to erect a town hall directly adjacent to the Borough Market building, to the west, however, these plans were never realised. At the time there was a street located directly opposite the markets, known as Market Street, which has since been turned into a pedestrian access only thoroughfare.

In 1916 the Borough Market building was demolished to make way for the development of the Strand Theatre, a billiard hall, shops and offices, that were later demolished in 1979 to make way for the redevelopment of the Market Square. The Market Square shopping centre was built on the site of the Strand Theatre in 1980 by Kern Corporation Ltd and was opened by NSW Premier Neville Wran. The works included the construction of a steel pedestrian bridge between the Hunter Street Mall and Queens Wharf to the north³⁰.

The following images provide an overview of the early development of Block 3.

³⁰ Scanlon, Mike, "Change and the city of Newcastle," 8 January 2016 accessed 5 April 2017 via <http://www.theherald.com.au/story/3647883/city-of-great-change/>

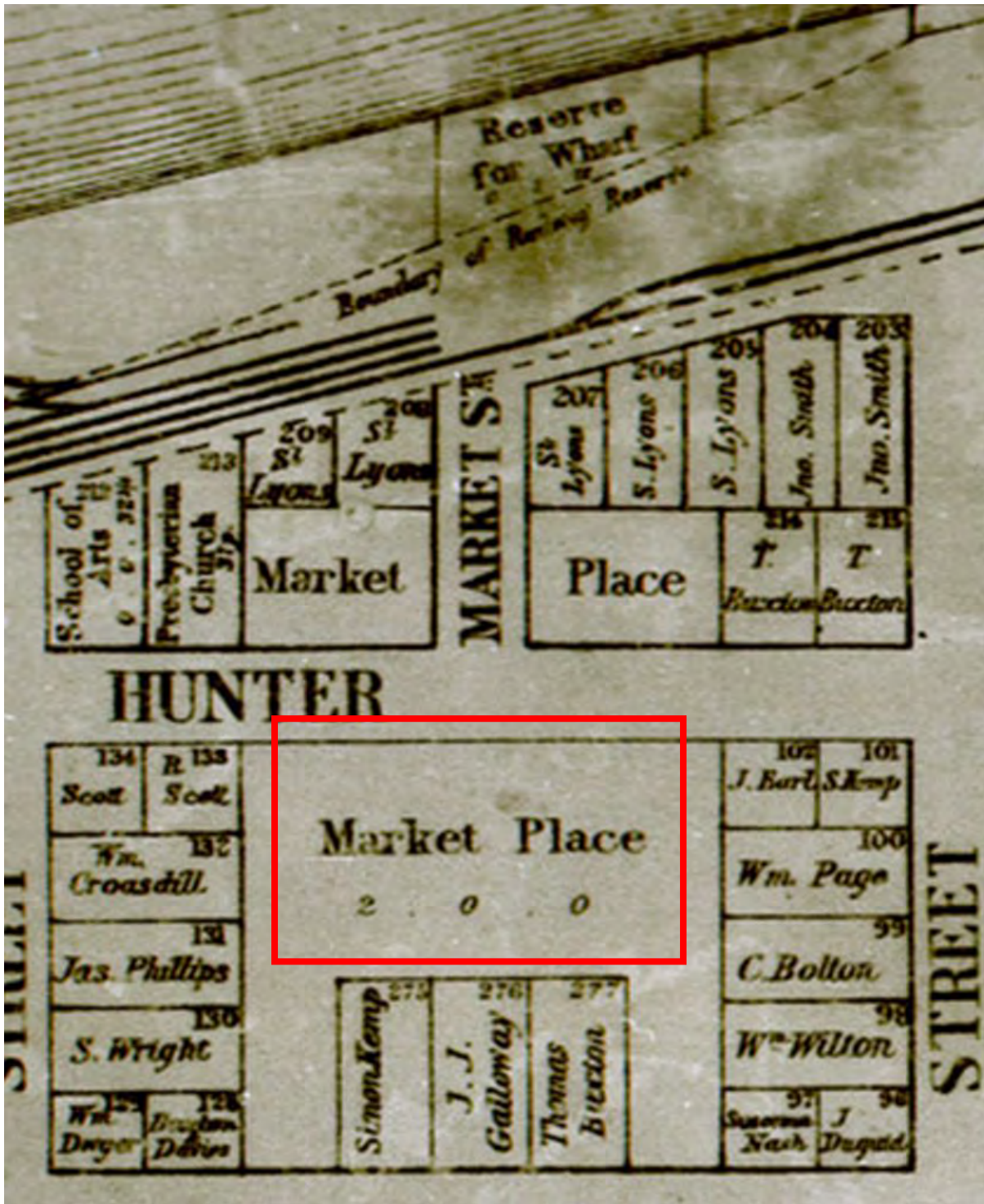


Figure 93: Excerpt from a map of Newcastle (n.d.) which shows Block 3 buildings as part of the original Market Place. (Source: University of Newcastle, Cultural Collections, part of Norm Barney photographic collection, accessed 9 March 2017 via <https://www.flickr.com/photos/uon/5779639226/>)



Figure 94: Excerpt from a plan of Newcastle dated 1886, completed CLN Mahlstedt and Gee Surveyors, showing Block 3 prior to subdivision and the creation of Laing Street. (Source: University of Newcastle Cultural Collections, M2039 Sheet 8, accessed 2 March 2017, via <https://www.flickr.com/photos/uon/sets/72157627126833932/>)



Figure 95: Photograph of the Borough Market building dating from c.1887, photograph taken by Ralph Snowball who had a studio in the building. (Source: University of Newcastle Cultural Collections, accessed 5 April 2017 via <https://www.flickr.com/photos/uon/3964536525/in/photostream/>)



Figure 96: View looking east along Hunter Street on 21 January 1891 with Block 3 visible to the right and outlined in red. Note the Borough Market building and surrounding buildings that were demolished prior to construction of the existing buildings. (Source: University of Newcastle Cultural Collections, accessed 5 April 2017 via <https://www.flickr.com/photos/8571926@N06/4861819693/>)

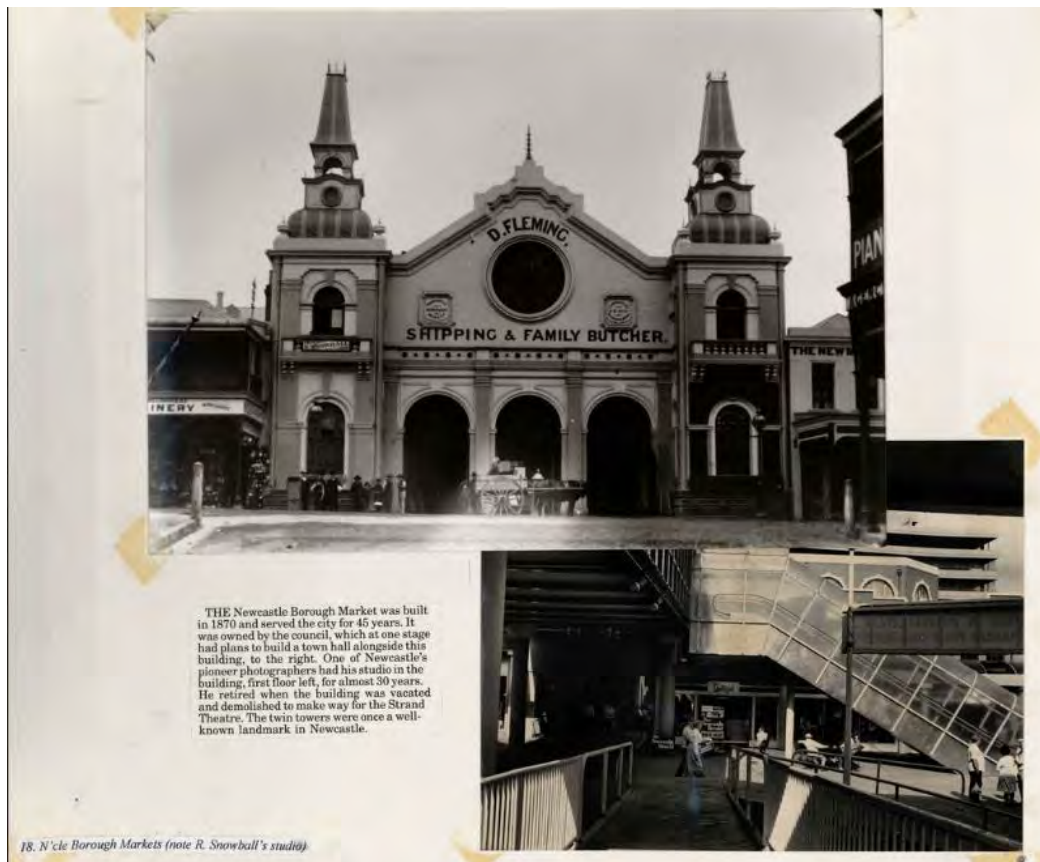


Figure 97: Comparative views showing the Borough Market building and the entrance to the Market Square in 1992. (Source: University of Newcastle Cultural Collections, M4864-Panel 18, accessed 5 April 2017 via <https://www.flickr.com/photos/8571926@N06/6067404593>)



Figure 98: Undated photograph looking south towards the original Strand Theatre building (right) and a photograph from 1972 of the later Strand Theatre, a few years before its demolition. ((Source: Newcastle Region Library, registration no.'s 045 000024 and 047 000042, accessed 5 April 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=25720&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2FQuery.php> and <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=25968&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2Findex.htm>)

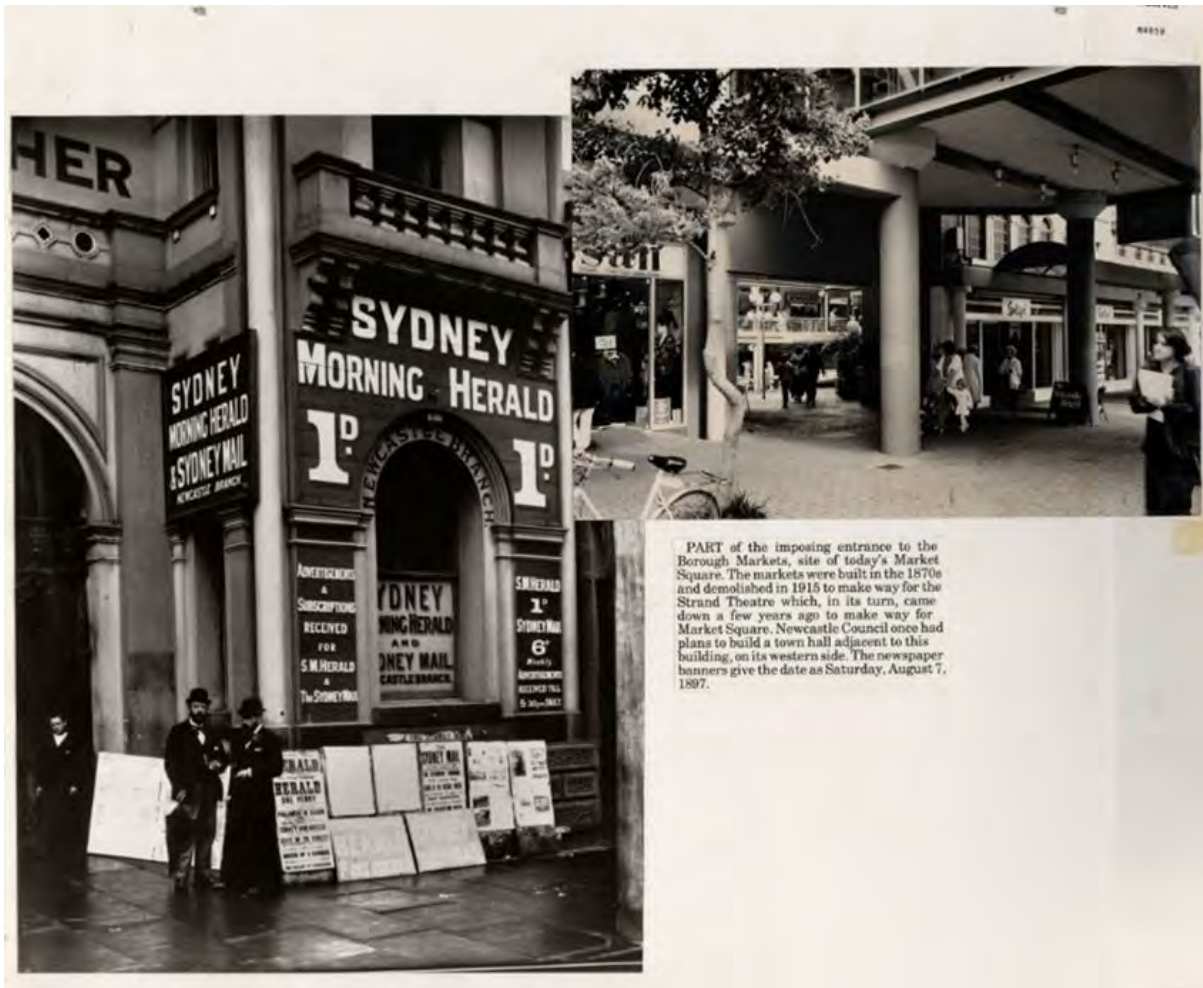


Figure 99: Another comparative view showing an entrance to the Borough Market building in 1897 and the 1992 Market Square entrance. (Source: University of Newcastle Cultural Collections, M4858, panel 12, accessed 5 April 2017 via <https://www.flickr.com/photos/8571926@N06/6067838966>)



Figure 100: Views looking south towards the Strand Theatre in 1972 (left) and 1973 (right). The former Municipal building can be seen to the left. (Source: University of Newcastle Cultural Collections, registration no.'s 047 000073 and 104 008194, accessed 5 April 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=25999&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2FQuery.php> and <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=61746&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2FQuery.php>)



Figure 101: Photograph from 1979 showing the Thorn and Hunter Streets building, the Strand Theatre and the former Municipal building prior to demolition works. (Source: Newcastle Region Library, registration no. 103 000277, accessed 5 April 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=29366&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2FQuery.php>)



Figure 102: Photograph of Block 3 following demolition of the Strand Theatre and other buildings located on Block 3. The carpark to the rear is the current Council carpark located along King Street and in the distance Christ Cathedral can be seen. The former Municipal Building can also be seen to the left. (Source: Scanlon, Mike, "Change and the city of Newcastle," 8 January 2016 accessed 5 April 2017 via <http://www.theherald.com.au/story/3647883/city-of-great-change/>)

3.3.1.1. 113-121 Hunter Street

Prior to the development of this building, the site was occupied by a two-storey commercial building, which can be seen in Figure 96. The building was located alongside the Borough Market building and was later demolished to make way for the existing Municipal Building.

During the late 19th century the Newcastle Borough Council was responsible for the construction of a number of buildings on their land, which were made available for lease. As a result, a number of Municipal buildings were constructed at the time and tenanted by various local merchants and shop owners, including 113-121 Hunter Street. Originally designed by Thomas W. Silk in the Federation Free style in 1908, this Municipal building was one of the last buildings erected by the Newcastle Borough Council in an attempt to revitalise the retail hub of the city³¹. The construction of the Municipal building was plagued by issues with Silk coming into conflict with Mr E.H. Banks, the contractor employed in the construction of the building. Silk would not authorise final payments for the contractor as Banks insisted on overtime deductions³².

Thomas Silk came to Sydney in the 1890s, and was one of the first Australian born architects with training to work in the Hunter region. Trained at the Sydney firm of Green and Green during the building boom of the 1870s, he saw many Victorian buildings designed and built during this period³³. He was engaged in a partnership with John Pender until 1905³⁴. With Pender, the two designed the Imperial Hotel, at the corner of Beardy and Faulkner Streets, Armidale c.1890 as well as Enrights Chambers at 467 High Street, Maitland. Stylistically, Silk tended to design semi-circular arches rendered flush with brick facades, continuing as a broad band to give the façade a unified character. The edges of openings were often rounded, with many featuring an Art Nouveau motif³⁵.

As part of the 1980 Market Square shopping centre development, the building underwent alterations and additions that included the construction of connecting structures and the overpass along the western elevation. The upper levels of the building have also been recently modified and have retained very little original detail, having been converted into office and studio spaces.

The following timeline details the historical development of 113-121 Hunter Street.

Date	Event
c.1886	The site is occupied by a two-storey commercial building and is located alongside the Borough Markets
1908	Built by T.W Silk in the Federation Free Style as one of the last buildings erected by the Newcastle Borough Council in an attempt to revitalise the retail hub of the city
1980	The building is adapted in association with the Market Square shopping development and the overpass and other structures are constructed along the western elevation

³¹ "Newcastle by Design," Newcastle City Council website, p.1, accessed 8 March 2017 via http://121.50.208.46/newcastle/Newcastle_by_Design.pdf

³² L. Reedman, 'Early architects of the Hunter Region. A Hundred Years to 1940,' 2008, p.134 (p.146 of pdf). Accessed 8 March 2017, from <https://downloads.newcastle.edu.au/library/cultural%20collections/pdf/reedman2008.pdf>

³³ L. Reedman, 'Early architects of the Hunter Region. A Hundred Years to 1940,' 'Thomas Wilfred Silk,' 2008, p.131 (p.143 of pdf). Accessed 8 March 2017, from <https://downloads.newcastle.edu.au/library/cultural%20collections/pdf/reedman2008.pdf>

³⁴ L. Reedman, 'Early architects of the Hunter Region. A Hundred Years to 1940,' 2008, p.59 (p.71 of pdf). Accessed 8 March 2017, from <https://downloads.newcastle.edu.au/library/cultural%20collections/pdf/reedman2008.pdf>

³⁵ *ibid*, p. 132.



Figure 103: Photograph of the ground and first floor of the Municipal Building in 1938. At the time the ground floor commercial space was occupied by Hunter the Stationer Ltd. (Source: Newcastle University Cultural Collections, accessed 5 April 2017 via <https://www.flickr.com/photos/uon/8641077883/>)



Figure 104: View looking east in 1972 with the subject sites (Block 3, Municipal Building 1908) circled in red. (Source: Newcastle Region Library, registration no. 047 000009, accessed 20 March 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=25935&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2Findex.htm>)

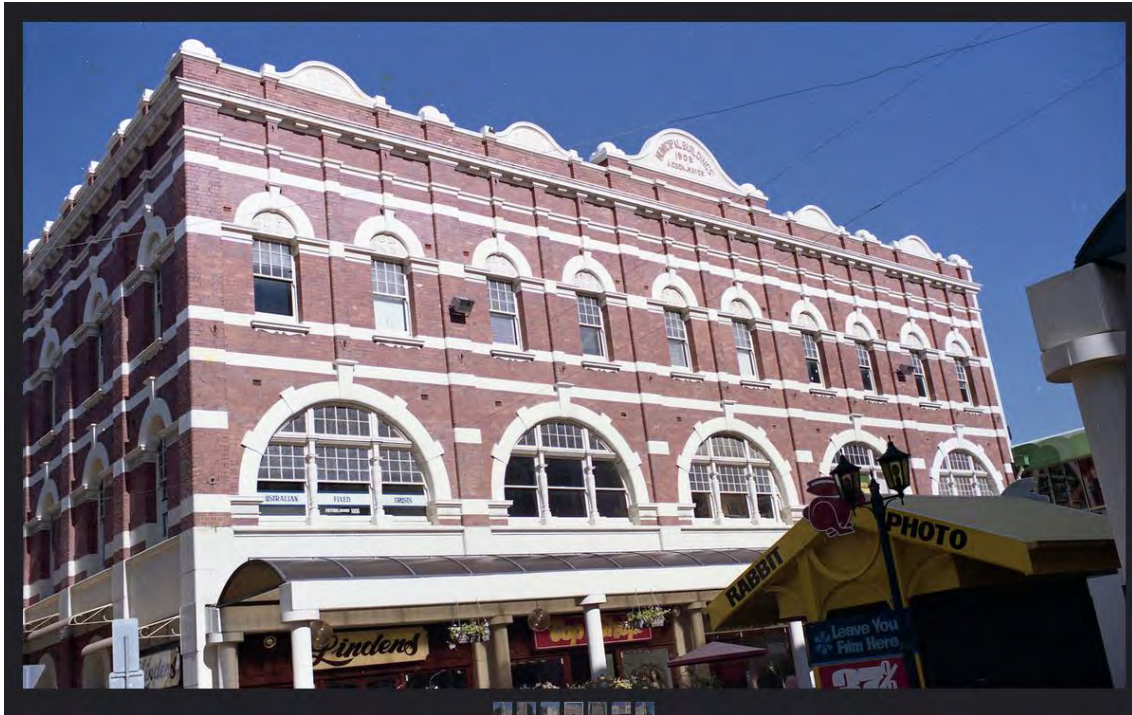


Figure 105: Municipal building built in 1908. Photo taken in May 1986. Operating shops include Lindens and Top Shop. (Source: Coalfields Heritage Group, taken by late Percy Sternbeck, accessed 9 March 2017 via <https://www.flickr.com/photos/coalfieldsheritagegroup/12146347676>)



Figure 106: Municipal Building, designed by T.W. Silk in 1908. Shows the pediment of the building. (Source: The Newcastle Herald, accessed 16 March 2017 via <http://www.theherald.com.au/story/4499372/chaotic-meeting-after-a-mystery-resignation/#slide=2>).



Figure 107: Municipal Building, built in 1908 for the Newcastle Borough Council. (Source: L. Reedman, 'Early architects of the Hunter Region. A Hundred Years to 1940,' 2008, p. 146, accessed 8 March 2017 via <https://downloads.newcastle.edu.au/library/cultural%20collections/pdf/reedman2008.pdf>)

3.3.1.2. 123-141 Hunter Street

123-141 Hunter Street was formerly part of the Market Place allotment that was later developed to include the Borough Market building. As with 113-121 Hunter Street, the site was partially occupied by the Borough Market building and a smaller two store commercial building (Figure 108). The Strand Theatre in 1916 and another mid-20th century building were constructed on the site only to be demolished in 1980. The existing Market Square shopping centre was built on the site of the Strand Theatre in 1980 by Kern Corporation Ltd and was opened by NSW Premier Neville Wran. The works included the construction of a steel pedestrian bridge between the Hunter Street Mall and Queens Wharf to the north (now removed)³⁶.

While the Hunter Street façade of the building reflects characteristics seen in surrounding Victorian buildings, the building was constructed in 1980.

³⁶ Scanlon, Mike, "Change and the city of Newcastle," 8 January 2016 accessed 5 April 2017 via <http://www.theherald.com.au/story/3647883/city-of-great-change/>



Figure 108: View of Hunter Street looking east in an undated early photograph showing the Borough Market and other buildings that once occupied the site. (Source: Newcastle University Cultural Collections, accessed 5 April 2017 via <https://www.flickr.com/photos/uon/6828330222/in/photostream/>)



Figure 109: Photograph from the Ross and Pat Craig Collection showing the Strand Theatre and adjoining building to the west that were demolished in 1980. (Source: University of Newcastle Cultural Collections, accessed 5 April 2017 via <https://www.flickr.com/photos/uon/31464404612/in/photostream/>)

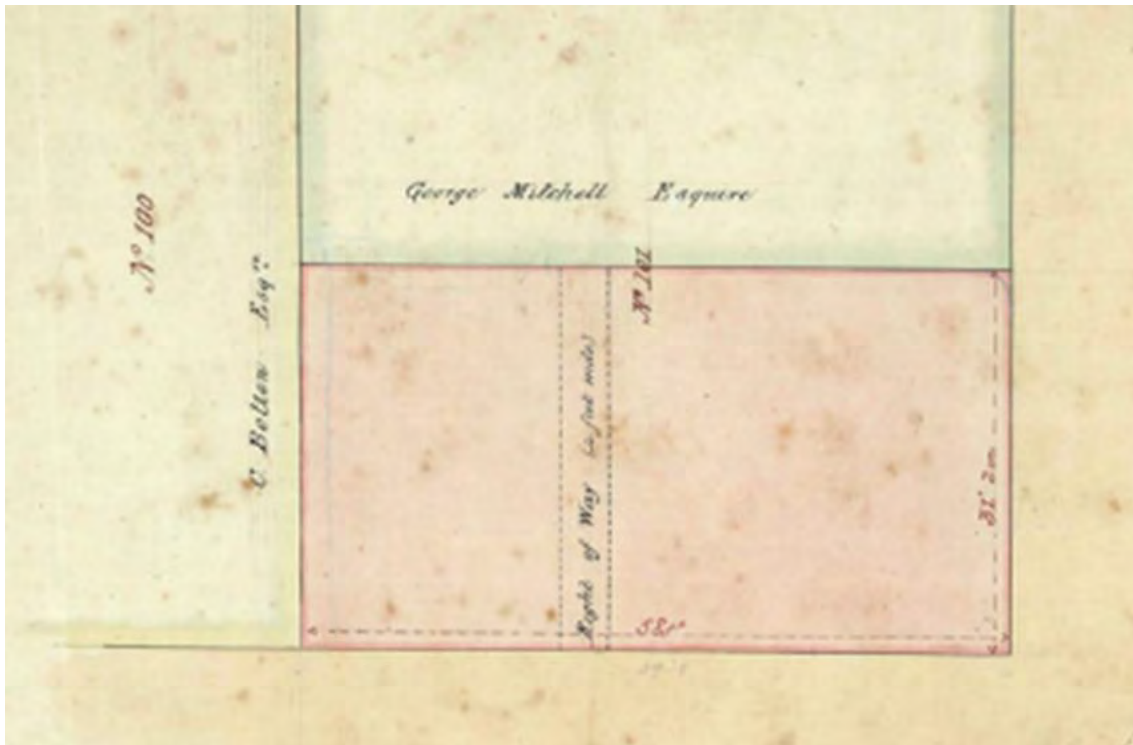


Figure 111: Plan for an allotment located on the corner of Hunter and Newcomen Streets, dated October 1873 and prepared by John W Pender. The allotment (no.101) contains 6 1/2 perches. (Source: Newcastle University Cultural Collections, registration no. M5131-3, accessed 20 March 2017 via <https://www.flickr.com/photos/uon/6502187953/in/photostream/>)



Figure 112: Detailed view from an undated early photograph of Hunter Street with Block 4 buildings circled in red. (Source: Newcastle Region Library, registration no. 056 000437, accessed 22 March 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=27028&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2Findex.htm>)



Figure 113: Undated photograph of the Hunt Club Hotel, taken by Ralph Snowball. The hotel was located on the corner of Newcomen and Hunter Streets at 103 Hunter Street. This site is not owned by Iris Capital, but has been included here to show the configuration of this intersection at the time. (Source: Newcastle University Cultural Collections, accessed 20 March 2017 via <https://www.flickr.com/photos/8571926@N06/3237788556>)



Figure 114: View of Newcomen Street from the 1880s. (Source: University of Newcastle Cultural Collections, M4874 – Panel 28, accessed 20 March 2017 via <https://www.flickr.com/photos/8571926@N06/6067476827>)



Figure 115: View of Newcomen Street from 1992. (Source: University of Newcastle Cultural Collections, M4874 – Panel 28, accessed 20 March 2017 via <https://www.flickr.com/photos/8571926@N06/6067476827>)

3.3.2.1. 111 Hunter Street

111 Hunter Street has a long-established history as the location of local Newcastle and Australian businesses, having been occupied by a range of companies dating back as early as c.1890. Some examples of previous occupants include the Ellis Boot Store, a hat and cap manufacturer, AJ Potter & Co and Hughes and Son Surgeons/ Dentists, as seen in [Figure 116](#) and [Figure 117](#).

The exact date of development of the existing building located at 111 Hunter Street is unknown, however, the building is present in a photograph dating from 1891 suggesting construction prior to this date. Recent documentation also attributes the architect for the building as being Frederick B Menkens, however, this could not be verified. In the 1891 photograph the building is prominently visible alongside the original Scott's Ltd store (before it extended west into Mrs Provost's store) and an original awning and first floor wrap around balcony are clearly visible. The first floor also appears to be offices, used by a dentist.

In 1915 both 109 and 111 Hunter Street are identified in newspaper articles as being the location of the Commonwealth Shoe Company Limited, responsible for the provision of "cheap and reliable footwear."³⁸ Considering Potter & Co continuously operated from the corner shop on the ground floor of 111 Hunter Street, the Commonwealth Shoe Company most likely partially occupied the ground floor eastern shop, seen in the 1891 image ([Figure 116](#)) as being occupied by a hat and cap manufacturer.

Potter & Co was a jewellery company that was long established in Newcastle and produced and sold all sorts of goods including silver and gold watches and chains, silverware, combs, cigarette and cigar cases, pendants, locketts, bangles and various other pieces of jewellery. The company remained at 111 Hunter Street for many years and in an article from December 1909, it is noted that the manufacturing

³⁸ "Commonwealth Shoe Coy," Newcastle Morning Herald and Miners' Advocate, Friday 24 December 1916, p.6, accessed 20 March 2017 via <http://trove.nla.gov.au/newspaper/article/137972089?searchTerm=109%20Hunter%20Street%20Newcastle&searchLimits>

department was located upstairs and there were several employees who were, "constantly engaged in making jewellery, medals, trophies, etc."³⁹

Potter & Co made several changes to the building, particularly the ground floor shop front. In an article and advertisement from 1905, it is noted that the shopfront windows had been enlarged, to increase display opportunities⁴⁰. The premises were again subjected to alterations and additions in 1908, which involved the extension of the shopfront most likely into the neighbouring shop to the east, doubling the length of the window displays (as can be seen in a photograph from 1938 ([Figure 117](#))). The shopfront was also finished in marble and internal changes were made to increase the space, presumably through the removal of internal walls⁴¹.

In a photograph from 1938 ([Figure 117](#)) Potter & Co Jeweller and Watchmaker are clearly identified as occupying the ground floor of the building, with a clock prominently visible above the awning, most likely produced by the company. By this time the first floor balcony and original awning had been removed and the "Sanitarium Building" sign had not yet been installed.

In an article from 1948 Potter & Co Jewellers are still identified as being located at 111 Hunter Street, Newcastle and specifically dealing with old gold, diamond rings and other Jewellery⁴².

In May 1954 the premises of both 109 and 111 Hunter Street were sold together in Sydney and achieved the price of £73,000. At the time 111 Hunter Street was still occupied by Potter & Co. The sale was conducted by Messrs Richardson and Wrench's Sydney saleroom and the owners at the time were noted as being the Storey family, Royal Newcastle Hospital and the Anglican Diocese of Newcastle. Both properties in the article are identified as originally being part of the Kemp and Parnell Estates, however, this could not be verified⁴³. In a photograph from 1972 ([Figure 118](#)) the building appears to have been used as a camera store.

According to an article in the Sydney Morning Herald from 1989, "The Sanitarium Building at 111 Hunter Street was sold by the Australasian Conference Association Ltd, a company which owns the Sanitarium Food Company."⁴⁴

The Sanitarium Food Group was established in the late 1800s by a group of American Seventh-day Adventist immigrants who were determined to import health food products into Australia. Their business originally involved the importation of goods from Battle Creek in Michigan, which at the time was famous for its Sanitarium⁴⁵.

The first shipment from Battle Creek consisted of granola, caramel cereal and gluten products and arrived in Melbourne in 1897. This first shipment was very quickly purchased by the locals and it was evident that the market for health foods in Australia well exceeded the supply available through Battle Creek. As such, a baker named EC Halsey was persuaded to migrate to Australia, having formerly worked at a manufacturing plant in Battle Creek. Shortly after his arrival St George's Bakery in

39 "Messrs Potter & Co," Newcastle Morning Herald and Miners' Advocate, Monday 20 December 1909, p.7, accessed 22 March 2017 via

<http://trove.nla.gov.au/newspaper/article/138458400?searchTerm=Potter%20%26%20Co%20Hunter%20Street%20newcastle&searchLimits>

40 "Potter & Co Goldsmiths and Silversmiths," Newcastle Morning Herald and Miners' Advocate, Monday 18 December 1905, p.7, accessed 22 March 2017 via

<http://trove.nla.gov.au/newspaper/article/136112312?searchTerm=Potter%20%26%20Co%20Hunter%20Street%20newcastle&searchLimits>

41 "Messrs Potter & Co," Newcastle Morning Herald and Miners' Advocate, Tuesday 15 December 1908, p.7, accessed 22 March 2017 via

<http://trove.nla.gov.au/newspaper/article/135613813?searchTerm=Potter%20%26%20Co%20Hunter%20Street%20newcastle&searchLimits>

42 The Newcastle Sun, Wednesday 7 April 1948, p.8, accessed 20 March 2017 via <http://trove.nla.gov.au/newspaper/article/158136982?searchTerm=Sanitarium%20Health%20Food%20Company%20Hunter%20Street%20Newcastle&searchLimits>

43 "Premises Sell For £73,000," Newcastle Morning Herald and Miners' Advocate, Saturday 15 May 1954, p.2, accessed 20 March 2017 via <http://trove.nla.gov.au/newspaper/article/134667954?searchTerm=109%20Hunter%20Street%20Newcastle&searchLimits>

44 The Sydney Morning Herald, 2 December 1989, p.46, accessed 20 March 2017 via <https://www.newspapers.com/newspage/123457316/>

45 History of Seventh-day Adventist Work with Soyfoods, Vegetarianism, Meat Alternatives, What Gluten, Dietary Fibre and Peanut Butter (1863-2013), compiled by William Shurtleff & Akiko Aoyagi, Soy Info Centre, 2014, Lafayette California, p.926, accessed 20 March 2017 via

https://books.google.com.au/books?id=enWfAgAAQBAJ&pg=PA926&pg=PA926&dq=Sanitarium+health+food+shop+newcastle&source=bl&ots=94TYg_fyKG&sig=k8Njn3_XymSpQPGMP1-JYK9nQM&hl=en&sa=X&ved=0ahUKEwjemtrhkeTSAhUMn5QKHZYvARKQ6AEIVjAJ#v=onepage&q=Sanitarium%20health%20food%20shop%20newcastle&f=false

Melbourne was rented in 1889 for the production of granola and caramel cereal. In the same year larger premises were obtained in Cooranbong, located south of Newcastle. The company name of Sanitarium Health Food was attributed in 1898 and in 1899, production commenced in a large defunct sawmill⁴⁶.

Over the subsequent years to company continued to grow and in 1906 the first Sanitarium retail store was opened in the Royal Arcade in Sydney. Many of these early shops also included a vegetarian restaurant and today, there are over 70 retail shops in existence. In 1935 the Australasian Food Research Laboratories were established and located on the grounds of the Cooranbong facility⁴⁷. The relationship between this building and the Sanitarium company is unknown, however, it is likely that the building was used as a retail outlet for company or for administrative purposes.

In more recent times 111 Hunter Street has been used by Renew Newcastle as part of the Arhive project, an artist run initiative providing a studio space for local artists to use for various purposes including for performances, installations, markets, workshops and as a gallery space⁴⁸.

The ground floor of the building is currently occupied by a café and clothing store.

The following timeline summarises the historical development of the site.

Date	Event
c.1890	The existing building is designed by Frederick B Menkens and constructed for commercial purposes. Some early occupants include AJ Potter & Co
1905	The shopfront windows were enlarged to increase display opportunities
1908	Further modifications to the AJ Potter & Co tenancy made including the extension of the shopfront windows into a neighbouring tenancy. The shopfront was also finished in marble and changes were made to the interior
1938	AJ Potter & Co still located at 111 Hunter Street. A clock by this date had been installed to the awning
1954	The site is sold with 109 Hunter Street
1972	Ground floor tenancy is occupied by a camera store
1989	Known as the Sanitarium building, the site was sold by the Australasian Conference Association Ltd, a company that owns the Sanitarium Food Company
c.2007	The site is acquired by the GPT Group and subsequently used by Renew Newcastle for their Arhive project
2016	The site is acquired by Iris Capital
2021	The site became vacant

⁴⁶ Ibid

⁴⁷ Ibid

⁴⁸ "ARTHIVE," Renew Newcastle website, accessed 22 March 2017 via <http://renewnewcastle.org/projects/project/arhive/>



Figure 116: Ralph Snowball photograph from April 1891 showing the building at 111 Hunter Street, prior to removal of the awning and balcony. At this time the site is occupied by a dentist, jeweller and hat/cap manufacturer. (Source: University of Newcastle Cultural Collections, accessed 21 March 2017 via <https://www.flickr.com/photos/uon/4862444616/in/photostream/>)



Figure 117: Photograph of 105-111 Hunter Street with 111 Hunter Street visible to the right. Attached above the awning in this photograph is a clock that later appears at 109 Hunter Street. Dated 1938. (Source: Newcastle University Cultural Collections, accessed 21 March 2017 via <https://www.flickr.com/photos/uon/8641073669/in/photostream/>)

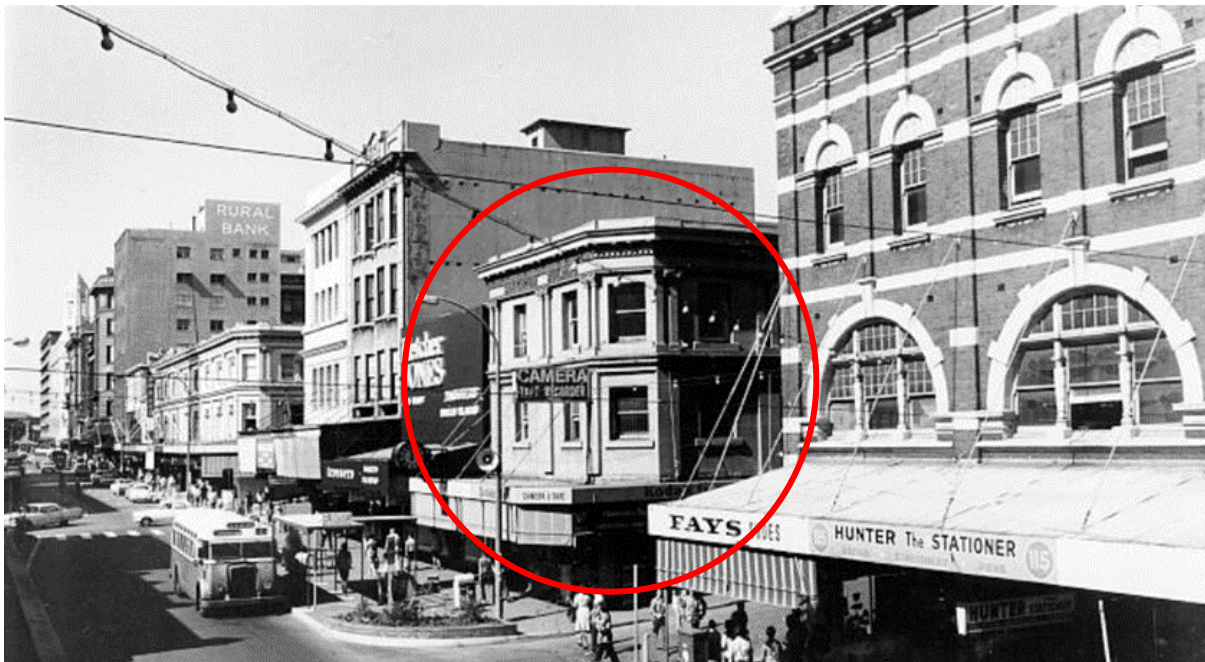


Figure 118: View looking east in 1972 with the subject site circled in red. (Source: Newcastle Region Library, registration no. 047 000009, accessed 20 March 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=25935&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2Findex.htm>)

3.3.2.2. 109 Hunter Street

The premises of 109 Hunter Street were formally the original location of the original Scott's Ltd store, following extensions made to the original store, as seen in [Figure 119](#). According to the foundation date seen within the parapet of the existing building, 109 Hunter Street was constructed c.1926 and was originally constructed as a retail shop, later used by Fletcher Jones.

Fletcher Jones is an Australian retailer that was founded by David Fletcher Jones in Warrnambool, Victoria in 1918. The business originally began selling textiles and was highly successful in its early formative years, leading to the rapid expansion of the company. Fletcher Jones eventually began selling men's suits and trousers, all of which were predominately manufactured by a group of employed tailors and eventually a factory building was purchased in Victoria. The company experienced its "golden years" during the 1970s and 1980s and at the time had over 3,000 employees. The business focused on providing specialised business and casual clothing for men and was considered one of the leading Australian retailers at the time⁴⁹.

The company was under administration by December 2011, which was the result of various factors including the downgrading of profits. The company has since relaunched as an online business⁵⁰.

Fletcher Jones operated at 109 Hunter Street for several decades and in an image from 1972 ([Figure 123](#)), the façade above the parapet was clad over and the building given a completely new streetscape appearance. It is unclear at the time whether the two bay windows to the first floor were removed, however, given the amount of cladding required to create a flush appearance, removal of the windows seems likely. The bay windows and the original façade above the awning have since been reinstated. Prior to this and as evident in [Figure 119](#) and [Figure 120](#), the building was occupied by Mick Simmons Ltd in c.1917. In an image from 1938 ([Figure 117](#)) the foundation date is visible in addition to a plaque that is no longer present.

⁴⁹ "About Us," Fletcher Jones Australia website, accessed 22 March 2017 via <http://www.fletcherjones.com.au/about-us>

⁵⁰ "Fletcher Jones under administration after 100 years," The Australian, 8 December 2011, accessed 22 March 2017 via <http://www.theaustralian.com.au/business/companies/fletcher-jones-under-administration-after-100-years/news-story/01c170c3e7428cedd145394dca2257e0>

Following closure of the store, the building was unoccupied for a period of time before being used as a studio space for artists as part of the Renew Newcastle project which was responsible for activating many old buildings within Newcastle's city centre and attempting to resurrect Newcastle's city centre. As part of the Renew Newcastle project, Professor Jane Shadbolt and her team produced a short film within the space, known as "The Cartographer." While the building does not feature in the film, it was used as the main workspace for the project over a number of years, as seen in [Figure 127](#) - [Figure 129](#). Of particular note in these images are the Fletcher Jones monogrammed carpet, racks for shoe boxes and interior views of the bay windows⁵¹.

The building is currently occupied by the renowned vintage clothing store CREAM.

The following timeline provides an overview of the history of 109 Hunter Street.

Date	Event
c.1897	An existing store is extended into by Scott's Ltd
1908	Scott's Ltd vacates the premises
c.1926	The previous building is demolished and the current building constructed
1938	The site is occupied by Australian retailer Mick Simmons
1970s	The site is occupied by Australian retailer Fletcher Jones. The façade is clad over and the bay windows removed
c.2008	The site had remained vacant for a number of years before being acquired by the GPT Group and leased to Renew Newcastle. Professor Jane Shadbolt and her team occupy a studio on the first floor and film the short film "The Cartographer"
2017	The site remains unoccupied



Figure 119: Photograph of 105-111 Hunter Street with 109 Hunter Street visible to the right. Dated 1938. (Source: Newcastle University Cultural Collections, accessed 21 March 2017 via <https://www.flickr.com/photos/uon/8641073669/in/photostream/>)

⁵¹ "The Cartographer returns to Newcastle," University of Newcastle, UNO Blog News, accessed 20 March 2017 via <http://blogs.newcastle.edu.au/blog/2012/10/25/the-cartographer-returns-to-newcastle/>



Figure 120: Photograph by Ralph Snowball of W Scott's building, dated 1897, with the original building that once occupied 109 Hunter Street circled in red. (Source: Newcastle Region Library, registration no. 001 002415, accessed 20 February 2017 via <http://trove.nla.gov.au/work/162273325?q=Scotts+Ltd+Newcastle&c=picture&versionId=176854624>)



Figure 121: Undated photograph of Hunter Street looking east with the subject building visible to the right of the image. (Source: Newcastle Region Library, registration no. 084 000006, accessed 20 March 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=28246&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2Findex.htm>)



Figure 122: Photographs dating from 1952 of the parapet and façade below the awning. Also note the clock that appears in several early images. (Source: Newcastle Region Library, registration no.'s 104 001829 and 104 001828, accessed 20 March 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=31426&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2Findex.htm> and <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=31425&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2Findex.htm>)



Figure 123: View looking east in 1972 with the subject sites circled in red. (Source: Newcastle Region Library, registration no. 047 000009, accessed 20 March 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=25935&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2Findex.htm>)



Figure 124: Photograph of the interior of the Fletcher Jones store in Hunter Street, Newcastle, dated 1969. Taken by Joe Freedman, Market House, Thorn Street Newcastle. (Source: University of Melbourne Library, item no. 175621, via the FJ Foundation, accessed 20 March 2017 via <https://digitised-collections.unimelb.edu.au/handle/11343/120012>)



Figure 125: The first window display for Fletcher Jones, 1969. (Source: University of Melbourne Library, item no. 175622, via the FJ Foundation, accessed 20 March 2017 via <https://digitised-collections.unimelb.edu.au/handle/11343/120012>)



Figure 126: View of the subject sites from 1992. (Source: University of Newcastle Cultural Collection, item no. M4874, accessed 20 March 2017 via <https://www.flickr.com/photos/uon/6067476827/in/photostream/>)



Figure 127: Internal views of the first floor studio used by Jane Shadbolt during production of "The Cartographer." Dated c.2008. In these views the bay window is clearly visible in the background. (Source: Courtesy of Professor Jane Shadbolt)



Figure 128: Internal views of the first floor studio used by Jane Shadbolt during production of "The Cartographer." Dated c.2008. The image on the right shows the workspace following painting works and some old shoe storage racks and the image on the right shows the original monogrammed carpet. (Source: Courtesy of Professor Jane Shadbolt)

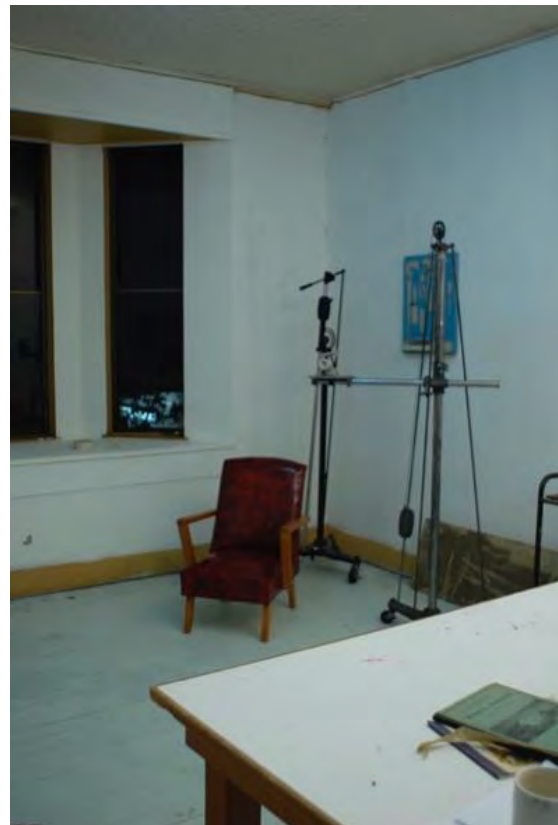


Figure 129: Internal views of the first floor studio used by Jane Shadbolt during production of "The Cartographer." Dated c.2008 the image on the left is of the ground floor of the building and the image on the right is of the first floor studio space with the pressed metal ceiling clearly evident. (Source: Courtesy of Professor Jane Shadbolt)

3.3.2.3. 105 Hunter Street

Historical research to date has uncovered little information regarding the building located at 105 Hunter Street. However, the ground floor appears to have been consistently occupied by various commercial business including Scott's Ltd, which occupied a previous building that once occupied by the site. As evident in the architectural detailing of the façade, the building most likely dates from the Inter-War period between the late 1910s and early 1920s and is thought to have been developed in association with 103 Hunter Street.

By 1938 the existing building was present and was known as the "Frances Ann" store (although the street address for the property appears as 107 in an advertisement from the period)⁵².



Figure 130: Photograph of 105-111 Hunter Street with 105 Hunter Street visible to the left. Dated 1938. (Source: Newcastle University Cultural Collections, accessed 21 March 2017 via <https://www.flickr.com/photos/uon/8641073669/in/photostream/>)

3.3.2.4. 3 Morgan Street

Located at 3 Morgan Street is a church building dating from the 1970s and originally constructed as St Mark's Catholic Church. Historical research to date has not uncovered the exact date the site was no longer used as a church, however, by 2008 it is noted that the building had been unoccupied for a number of years prior (c.2006) to it being acquired by the GPT Group. In late 2008 the building became the head office of Renew Newcastle and was used as a meeting place and community centre (e.g. Renew Newcastle held the beanstalk organic food co-op at the site). The two-storey building to the north of the original St Mark's Catholic Church were residential premises converted by Renew Newcastle into an Artist in Residence Space in 2009⁵³.

In October 2009 local metal sculptor Tom Ireland was engaged to create a sign for Renew Newcastle, which was installed above the main entrance to the former church⁵⁴.

The church was used by Renew Newcastle as the centre for their operations until June 2012, following the end of their lease. The site was subsequently leased by another church group and renamed "Calvary Chapel."⁵⁵

Historical research to date has not identified what occupied the southern section of the site, prior to it becoming a carpark. However, in Figure 112, a series of terraced houses can be seen within Newcomen Street, some of which were demolished when Blackall House at 22 Newcomen Street was constructed in 1936. Therefore, it is most likely that the southern section of the site was occupied by residential terraces prior to it becoming a carpark. This is also supported in an undated block plan from c.1930 that shows two unknown buildings, possibly residential, located on the carpark site. The Calvary Chapel site

⁵² "Frances Ann's Sale," The Newcastle Sun, Thursday 30 June 1938, p.4, accessed 27 March 2017 via <http://trove.nla.gov.au/newspaper/article/166706146?searchTerm=Frances%20Ann%20Hunter%20Street%20Newcastle&searchLimits>

⁵³ "Renew Newcastle HQ 'The Church,'" Renew Newcastle website, accessed 3 April 2017 via <http://renewnewcastle.org/projects/project/renew-newcastle-hq-the-church/>

⁵⁴ Ibid

⁵⁵ Ibid

at the time was occupied by a residential establishment known as The Burlington, along with an associated lodging House and Billiard Room.

The following timeline summarise the history of 3 Morgan Street.

Date	Event
1970s	St Mark's Church is constructed at 3 Morgan Street, Newcastle
c.2006	The church community of St Mark's has dwindled and the building is abandoned and shortly after acquired by the GPT Group
2008	The former St Mark's Church is leased to Renew Newcastle as used as their head office and the location of various community functions run by Renew Newcastle
21 February 2009	Renew Newcastle projects launch held in the former St Mark's Church rectory
October 2009	Artist Tom Ireland is engaged to create a metal sculpture saying, "Renew Newcastle." The sign is eventually attached to the main entrance awning
June 2012	Renew Newcastle's lease expires and the premises are vacated
2012 onwards	A new lease agreement is devised with another church group and the building is renamed the "Calvary Chapel." The church group continue to operate at the site
2020	The site became vacant

The following images provide an overview of the historical development of 3 Morgan Street.



Figure 131: Excerpt from an undated plan from c.1930 showing the previous buildings that once occupied 3 Morgan Street. (Source: Courtesy of Newcastle Regional Library Local Studies)



Figure 132: Photograph from 19 February 1972 of St Mark's Chapel, located at 3 Morgan Street. (Source: Newcastle Region Library, registration no. 047 000251, accessed 3 April 2017 via <http://collections.ncc.nsw.gov.au/keemu/pages/nrm/Display.php?irn=26177&QueryPage=%2Fkeemu%2Fpages%2Fnrm%2FQuery.php>)



Figure 133: View of the former St Mark's Church entrance with the Renew Newcastle sign designed by Tom Ireland and installed in October 2009. (Source: "Renew Newcastle HQ 'The Church,'" Renew Newcastle website, accessed 3 April 2017 via <http://renewnewcastle.org/projects/project/renew-newcastle-hq-the-church/>)



Figure 134: Interior view of the former St Mark's Church rectory taken c.2009 when the site was occupied by Renew Newcastle. (Source: "Renew Newcastle HQ 'The Church,'" Renew Newcastle website, accessed 3 April 2017 via <http://renewnewcastle.org/projects/project/renew-newcastle-hq-the-church/>)



Figure 135: Internal view of the rectory roof of the former St Mark's Church, taken c.2009 when the site was occupied by Renew Newcastle. (Source: "Renew Newcastle HQ 'The Church,'" Renew Newcastle website, accessed 3 April 2017 via <http://renewnewcastle.org/projects/project/renew-newcastle-hq-the-church/>)



Renew Newcastle Projects Launch
Saturday 21 February 2009, 11am, 3 Morgan St Newcastle

Figure 136: Photograph from the Renew Newcastle Projects launch on Saturday 21 February 2009. The launch was held in the former St Mark's Church rectory. (Source: "Renew Newcastle HQ 'The Church,'" Renew Newcastle website, accessed 3 April 2017 via <http://renewnewcastle.org/projects/project/renew-newcastle-hq-the-church/>)

3.3.2.5. 22 Newcomen Street

In a photograph from the 1880s (Figure 137), Newcomen Street at the time was populated by a series of terraces houses. The terraces present at 22 Newcomen Street were demolished to make way for "Blackall House," designed as a welfare centre for the Newcastle branch of the Adult Deaf and Dumb Society⁵⁶.

The Newcastle branch of the Adult Deaf and Dumb Society was established in c.1930 and club rooms were provided by council and renovated. A Women's Auxiliary was formed to raise funds for the branch, spearheaded by Mrs Ruby Blackall (wife of former mayor Mr Thomas Blackall). The first work of the committee was to provide support for the "deaf and dumb" and they were immediately made aware of the unemployment situation of many "deaf mutes" in the Newcastle district area⁵⁷. Mrs Blackall was tireless in her efforts for the Newcastle branch of the Adult Deaf and Dumb Society, as evident in an article that appeared in the Newcastle Morning Herald and Miner's Advocate on 8 August 1936⁵⁸:

Of all the people who have worked to achieve the Adult Deaf and Dumb Society's new building in Newcomen-street, Newcastle, which is to be officially opened by Sir Frederick Stewart on Friday, August 21, none has poured into it more untiring energy than Mrs T Blackall. It is with an appreciation of this fact in mind that the committee controlling the building has determined that it shall be known by her name. The building is to be called Blackall House. The opening ceremony is to be followed during the afternoon and night by a bazaar, within the building, which Lady Stewart will open. The fete will continue on Saturday, and Saturday night, with various entertainment items to add interest to the programme. Tributes to others who have worked for the welfare of the organisation will take the form of enlarged photographs to be hung in the main hall. A brass plate is to be erected in recognition of the efforts of the Patron (Mr J Laskie).

Mrs Ruby Blackall dedicated her life to community service and was first Mayoress of Newcastle and later the superintendent and secretary of the Adult Deaf and Dumb Society. Through her efforts, the society was formed in Newcastle and a holiday home opened in Belmont. She was born in Gympie,

⁵⁶ "Adult Deaf and Dumb, Blackall House Opened," The Newcastle Sun, Friday 21 August 1936, p.8, accessed 22 March 2017 via <http://trove.nla.gov.au/newspaper/article/166542142?searchTerm=Blackall%20House%20Newcastle&searchLimits>

⁵⁷ "Adult Deaf and Dum Branch Formed at Newcastle," The Sydney Morning Herald, Saturday 22 February 1930, p.11, accessed 22 March 2017 via <http://trove.nla.gov.au/newspaper/article/16627693>

⁵⁸ "Blackall House," Newcastle Morning Herald and Miners' Advocate, Saturday 8 August 1936, p.10, accessed 22 March 2017 via <http://trove.nla.gov.au/newspaper/article/140505764?searchTerm=Blackall%20House%20Newcastle&searchLimits>

Queensland and came to Newcastle at an early age. Her husband, the late Thomas Blackall, was Mayor in 1930 and during her term as Mayoress, Mrs Blackall formed the Sunshine Club⁵⁹.

According to an article from August 1936, the building was opened by Mayor Sir Frederick Stewart and attended by the Mayoress, the Bishop of Newcastle Right Rev F de Witt Batty, the Bishop elect of Ballarat and Dean of Newcastle Very Rev W H Johnson and the Town Clerk Mr G Wells. The President of the Newcastle branch of the Society was also in attendance, Mr J Laskie, and at the opening the Major praised the work of the President and of Mrs Blackall and her husband and noted that he hoped that from this building would radiate a "tremendous sympathy for those who were denied the ordinary method of articulation."⁶⁰

In article dating to the beginning of August, just before Blackall House opened, the building was described as follows⁶¹:

...The building is of two storeys, in brick, with tiled roof, and with ample lighting by means of large windows. Dark bricks have been used in the base. The planning incorporates offices, dormitories, bath rooms, billiard-room and a large social hall at the rear.

The architect is Mr J W Oldham, of Newcastle, and the contractors are Messrs Elliot and Beck of Macquarie Street, Junction.

The architect of Blackall House, John Oldham, had an extensive architectural practice and primarily operated during the Inter-War period. Oldham was born in Manchester in England, where he trained as an architect and practiced until he migrated to Australia in the 1920s. Amongst his accomplishments, Oldham was a former alderman of the City of Newcastle Council, was architect to the NSW Cooperative Wholesalers' Society and is noted as having taken an interest in civil affairs. He was also a keen sportsman and a founding member of the National Park Bowling Club. He was responsible for designing the Hamilton Wesley Church, a portion of Tyrrell House and several blocks of flats throughout the Hunter region⁶².

Blackall House was a popular social venue from the second half of the 1930s well into the 1970s with many events having been held at the hall and funds raised to support the Society. An example of a social event held at Blackall House includes a piano recital by Sydney pianist, Alexander Sverjensky⁶³.

It was later known as the Newcastle Deaf Centre and during the 1980s the Deaf Society of NSW (formerly the Adult Deaf and Dumb Society) experienced financial difficulty. By 1995 the Newcastle Deaf centre was sold. In c.2007 it was acquired by the GPT Group and leased for community purposes⁶⁴.

The hall is currently used by "Pivot Studios" for various classes including Zumba.

The following timeline summarises the historical development of 22 Newcomen Street.

Date	Event
c.1880s	The site is occupied by a series of residential terrace buildings
c.1930	The Adult Deaf and Dumb Society of Newcastle is established in club rooms provided by Council and renovated for their purposes
1936	Blackall House is constructed, opening in August

⁵⁹ "Death of Mrs Blackall," The Newcastle Sun, Thursday 23 August 1951, p.2, accessed 22 March 2017 via <http://trove.nla.gov.au/newspaper/article/159009370?searchTerm=Blackall%20House%20Newcastle&searchLimits>

⁶⁰ "Blackall House," Newcastle Morning Herald and Miners' Advocate, Saturday 8 August 1936, p.10, accessed 22 March 2017 via <http://trove.nla.gov.au/newspaper/article/140505764?searchTerm=Blackall%20House%20Newcastle&searchLimits>

⁶¹ "Deaf and Dumb Society Building Near Completion," Newcastle Morning Herald and Miners' Advocate, Saturday 1 August 1936, p.7, accessed 22 March 2016 via <http://trove.nla.gov.au/newspaper/article/140506739?searchTerm=Blackall%20House%20Newcastle&searchLimits>

⁶² "Mr John William Oldham Dies: Well Known Architect," The Newcastle Sun, Tuesday 10 January 1950, p.3, accessed 22 March 2017 via <http://trove.nla.gov.au/newspaper/article/158809132?searchTerm=John%20Oldham%20architect&searchLimits>

⁶³ "Sverjensky to Plan at Blackall House," Newcastle Morning Herald and Miners' Advocate, Saturday 24 November 1945, p.6, accessed 22 March 2017 via <http://trove.nla.gov.au/newspaper/article/134375613?searchTerm=Blackall%20House%20Newcastle&searchLimits>

⁶⁴ "Deaf in NSW: A Community History," website created to celebrate the Deaf Society of NSW in 2013, accessed 3 April 2017 via <http://deafinnsw.com/>

Date	Event
1930s - 1970s	The building continues to be used for a variety of social and community functions and a significant amount of funds are raised from these events for the Society
1980s	The Deaf Society of NSW (formerly the Adult Deaf and Dumb Society) experiences financial difficulty
1995	Blackall House is sold off
c.2007	The site is acquired by the GPT Group and leased for community purposes
2017	The site is currently used as "Pivot Studios"
2021	The site became vacant

The following images provide an overview of the historical development of 22 Newcomen Street.



Figure 137: Detailed view from a photograph of Newcomen Street dated c.1880s. Note the terrace houses located where Blackall House now stands. (Source: University of Newcastle Cultural Collections, M4874 – Panel 28, accessed 20 March 2017 via <https://www.flickr.com/photos/8571926@N06/6067476827>)



Figure 138: Photograph of Blackall House prior to completion in 1936. (Source: "Deaf and Dumb Society Building Near Completion," *Newcastle Morning Herald and Miners' Advocate*, Saturday 1 August 1936, p.7, accessed 22 March 2016 via <http://trove.nla.gov.au/newspaper/article/140506739?searchTerm=Blackall%20House%20Newcastle&searchLimits>)



Figure 139: Photograph from 1992 of Blackall House showing the northern façade which has since been partially obscured by a recent neighbouring apartment building development. (Source: University of Newcastle Cultural Collections, M4874 – Panel 28, accessed 20 March 2017 via <https://www.flickr.com/photos/8571926@N06/6067476827>)

3.3.2.6. 66-74 King Street

The commercial building located on the corner of King and Newcomen Streets is a contemporary building and dates from the mid to late 20th century.

The timber residence located on the corner of Morgan and King Streets was most likely constructed in the late 19th/ early 20th centuries and is evident in a block plan from c.1930 ([Figure 140](#)).

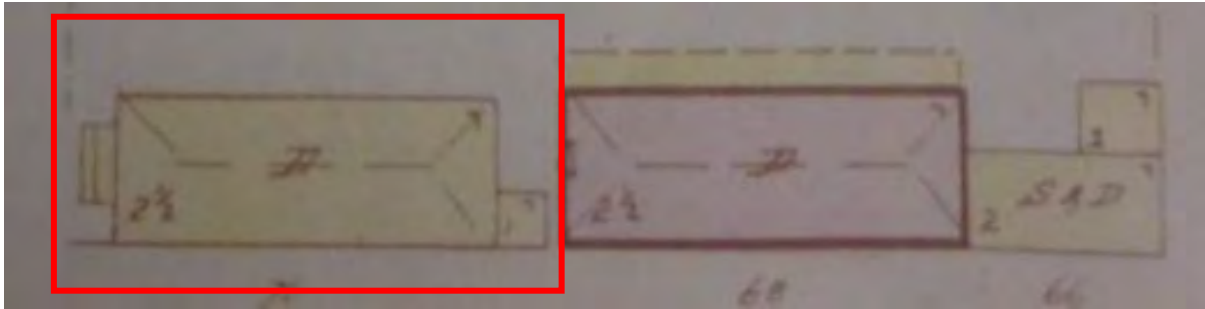


Figure 140: Excerpt from a map dating from c. 1930 showing the presence of the timber residence. (Source: Courtesy of Newcastle Regional Library Local Studies)

3.3.2.7. 1 Morgan Street

The residential apartment building located at 1 Morgan Street dates from the Inter-War period and was constructed in c.1935, as indicated in advertisements that appear for the apartment building in newspapers from the period⁶⁵.

⁶⁵ "To Let", The Maitland Daily Mercury, Thursday 21 November 1935, p.12, accessed 1 May 2017 via <http://trove.nla.gov.au/newspaper/article/127088827?searchTerm=%22Arcadia%20Flats%22%20Morgan%20Street%20Newcastle&searchLimits>

4. ASSESSMENT OF SIGNIFICANCE

4.1. Understanding Heritage Significance

Each place is unique and has its own combination of values. Therefore, before making decisions about the future of a heritage item it is essential to understand its heritage values so that these will be retained when making future decisions about the place. The statement of heritage significance summarises an item's heritage values.

4.2. Established Statement of Significance

4.2.1. Conservation Management Plan for Newcastle East End Blocks 3 & 4

The following Statement of Significance has been extracted from the Conservation Management Plan for Newcastle East End Blocks 3 & 4 prepared by CPH in March 2023:

The Newcastle East End Precinct is of local significance as an important site that is associated with the early development of the city of Newcastle and the subsequent subdivision and development that occurred in response to the changing needs of the town during the late 19th and early 20th centuries.

The buildings present within the study area reflect the changes that were required to the existing built fabric in light of flooding issues experienced and to accommodate the growing population and development of Newcastle as a main port during the 19th century. The Precinct is also evidence of Hunter Street developing as the main commercial centre and reflects the various commercial, community, business and religious interactions that have occurred in the area since the early 19th century.

Many of the buildings within the study area date from this key period of development and are considered of exceptional aesthetic significance for the contribution they make to the streetscape and area generally. There is a high concentration in the study area of building fabric dating from the late 19th and early 20th century development of the city of Newcastle. Of particular note are the various buildings that are representative of the Victorian and Federation Free Classical Styles, Inter-War Art Deco and Functionalist styles including the former David Jones buildings, Masonic Hall/ Lyrique Theatre, and the former Municipal Building of which all three are already identified as heritage items with a number of contributory buildings scattered within the Precinct.

The Municipal Building's external facade contributes to the overall architectural character of the Hunter Street Mall as an interesting example of an Edwardian commercial building despite the alterations and additions made to its exterior and interiors.

In addition, the street pattern of the Newcastle East End Precinct is considered unique and reflects various significant stages in the planning and development of the study area, particularly the original establishment of the study area as the centre of town, with the Market Place at its centre. Collectively the buildings have a striking visual presence and positively contribute to the streetscape, particularly when viewed from within Hunter Street. Some areas have endured very little change and reflect subdivision patterns from the turn of the 20th century with surviving 1870s and 1880s infrastructure including sandstone walls and steps along Wolfe and King Streets.

Due to its size, the Newcastle East End Precinct is associated with numerous early land owners, prominent members of Newcastle society and local architects including Henry Dangar, William Scott, Harry "Henry" Charleston, Major Bolton, Mrs Ruby Blackall, Frederick B Menkens, FG Pepper, Jeater, Rodd, Bennet and Yeomans, Pitt and Merewether and Thomas W Silk, among many other individuals. It is also associated with locally established and larger Australian businesses including Scott's Ltd, Potter & Co, Mick Simmons, Charleston's Photographic Studio, Soul Pattinson and Fletcher Jones. Of particular note is the study area's association with leading retailers Scott's Ltd and David Jones, both of which occupied Block 1 for many decades.

The Newcastle East End Precinct has a strong connection to the residents of Newcastle, having served as the main commercial and retail centre for the city since the early 19th century. While the importance of the area as a retail centre has declined within recent years, Hunter Street is still considered the

primary shopping street in Newcastle. The study area has also served as the centre for various community, religious and recreational functions associated with the Masonic Hall/ Lyrique Theatre, Blackall House and various other buildings as part of the Renew Newcastle project.

The Newcastle East End Precinct is indicative of the pattern of commercial growth that occurred in the city of Newcastle following the development of Dangar's plan in 1823. The study area is also indicative of the growing need for retail developments during the late 19th and early 20th century and the gradual development of Newcastle as one of the largest cities in NSW.

4.2.2. Newcastle City Centre Heritage Conservation Area (C4)

The following statement of significance has been extracted from the State Heritage Inventory (SHI) form for Newcastle City Centre Heritage Conservation Area (C4)⁶⁶:

The Newcastle City Centre Heritage Conservation Area is significant on many levels. The mix of commercial, retail and civic buildings is a powerful reminder of the city's past, its economic and social history. Historic buildings provide the backdrop to a city of dramatic topography on the edge of the sea and the mouth of a harbour.

The pre-1840s buildings in the city are of state significance (Rose Cottage, c1830, Newcomen Club, 1830, parts of James Fletcher Hospital) and share associations with the city's convict origins. Newcastle has a rich archaeological record of national significance, with the potential to yield information about the early convict settlement and early industrial activities. The city area is known to have been a place of contact between colonists and the indigenous population. This evidence is available in historical accounts and in the archaeological record surviving beneath the modern city.

The high numbers of commercial and civic buildings of the 19th and 20th centuries gives the city a rich historic character which is notable and allows an understanding of the importance of the city as a place of commerce, governance and city building. The historical foundation of the city was the discovery and exploitation of coal with good shipping access via a safe and navigable harbour. The town's layout by Surveyor General Henry Dangar in 1828 is still visible in the city's streets, and is an element of historical value, particularly in the vicinity of Thorn, Keightley, Hunter and Market Streets.

- Key Period of Significance - circa 1801 to 1940.

4.2.3. Municipal Building (Item no. I403)

The following statement of significance has been extracted from the State Heritage Inventory (SHI) form Municipal Building (item no. I403)⁶⁷:

It contributes to the overall architectural character of the Hunter Street Mall and it is an interesting example of an Edwardian commercial building.

4.3. Ranking of Significance of Individual Areas and Elements

4.3.1. Basis of Ranking

The significance of the individual elements of the complex has been assessed and ranked to enable decisions on the future conservation and development of the site. The ranking has been based on the demonstrative ability of the existing fabric and its intactness or evocative quality. The specific areas and the individual elements such as walls, doors and windows are all ranked based on significance.

Ranking of the individual components of the Newcastle East End Precinct have been made as below:

⁶⁶ State Heritage Inventory (SHI) Form, 'Newcastle City Centre Heritage Conservation Area', Heritage item ID 2173904, accessed [online] <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2173904>

⁶⁷ State Heritage Inventory (SHI) Form, 'Municipal Building', Heritage item ID 2170175, accessed [online] <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2170175>

Exceptional	Rare or outstanding element directly contributing to an item's local and State significance. High degree of intactness and original fabric association with early construction period.
High	High degree of intactness and original fabric. Demonstrates a key element of the item's significance. Alterations do not detract from significance.
Moderate	Altered or modified elements. Elements with little heritage value, but which contribute to the overall significance of the item.
Little	Alterations detract from significance. Difficult to interpret.
Neutral	New fabric associated with present use and does not detract from significance.
Intrusive	Later fabric or alteration which obscures or detracts from significant fabric or the overall significance of an item.

4.3.2. Schedule of Significant Elements

The following plan identifies the significance ranking for each building component in relation to each built element's established heritage significance.

It should be noted that the grading of significance shown on the following plan is not exhaustive and it should be read in conjunction with the following table, assessing fabric in relation to their intactness.

Some elements may have a double ranking, one for being architecturally significance and one for fabric condition.

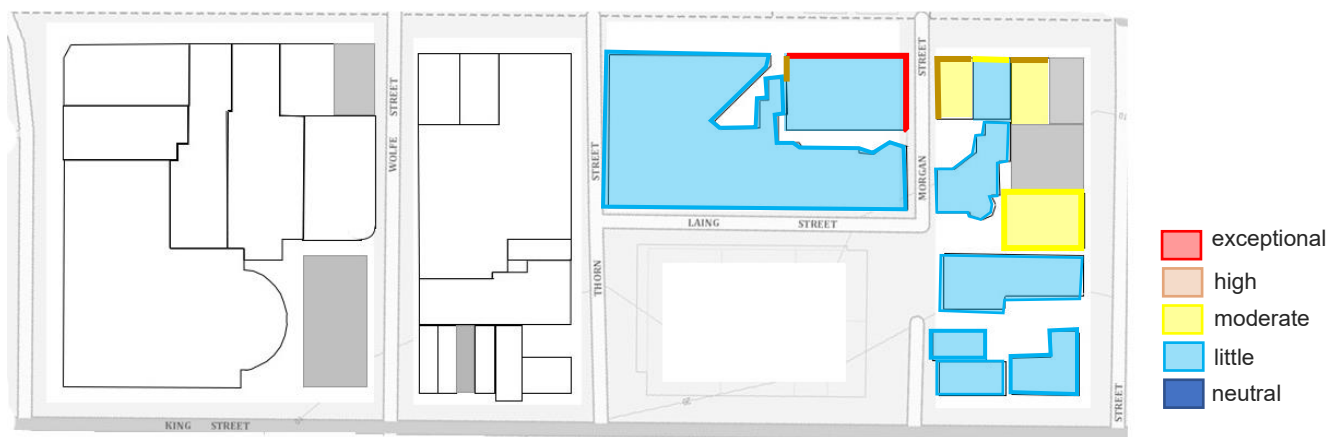




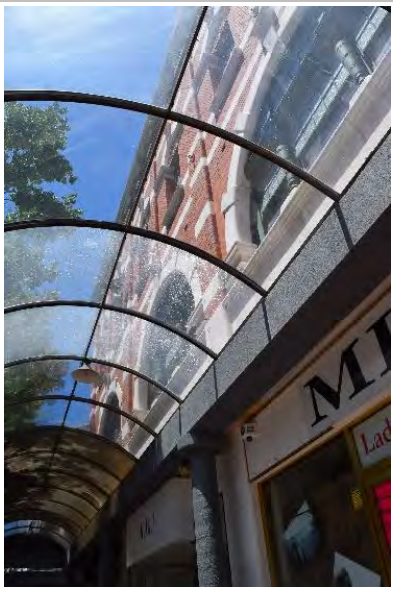
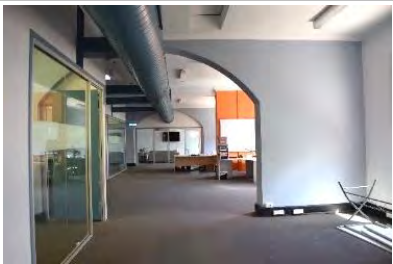
Figure 141: General site plan showing the overall significance ranking of each built element present within Blocks 3 and 4 of the Newcastle East End Precinct. The ranking on this plan does not reflect the individual walls or the facades of the Municipal Building (the Heritage Item) rather it relates to the overall significance of the building while the remainder ranking for Contributory buildings reflect their respective street facades. Refer to Section 8.6.3 for detailed significance ranking of each building.



4.3.3. Table of Significance

The following tables explore each built element separately. Interiors of the contributory buildings have been ranked as being of Moderate significance where access could not be obtained to allow for adequate mitigation of surviving any original fabric through archival recording prior to any works


undertaken. In addition, only heritage and contributory buildings are identified below (to be read in conjunction with Figure 141).


4.3.3.1. Block 3

Building/ Site Element	Significance	Commentary	Photo
Former Municipal Building façades	<p>Exceptional (north, east & northern part of west elevation)</p> <p>High (northern part of western elevation)</p> <p>Little (southern part of west elevation & south elevation)</p>	<p>The principal facades of the former Municipal building is externally considered as an exceptional example of a building designed in the Federation Free Classical style with high level integrity of Hunter and Morgan Street facades. It is also considered of significance due to its association with other early municipal buildings. Of particular note of the façade detailing is the arched window fenestration and decorative parapet detailing.</p>	 
	Little	<p>Ground floor façade and shop windows have been heavily modified and therefore are not considered of significance.</p> <p>The awning is also a later addition and should be considered for removal as part of the future development.</p>	
Former Municipal Building interior	Little	<p>The interior of the former Municipal building has been significantly modified and there is very little surviving original fabric.</p> <p>Recent investigations into the building's internal partitions and arches have revealed</p>	



Building/ Element	Site	Significance	Commentary	Photo
			<p>that the arched openings on Level 2, which extend to approximately 4m from the Hunter Street façade of the building are not original and have been created as part of the single commercial tenancy fitout</p> <p>The remainder of the interiors are essentially later partition walls smaller office spaces.</p>	
113-121 Hunter Street façade & interiors		Little	<p>The exterior of 113-121 Hunter Street is not considered of significance as it is a later development with no aesthetic character of note. Similarly, interiors of the building are of Low heritage value.</p>	

4.3.3.2. Block 4

Building/ Element	Site	Significance	Commentary	Photo
111 Hunter Street exteriors		<p>High (north & east elevations at Levels 1 and 2)</p> <p>Little (south, west and rear two-storey wing)</p>	<p>The north and east facades of the former Sanitarium building are considered of High significance as a contributory building dating from c.1890. Aesthetically it is a representative example of the Victorian Free Classical style and directly reflects the characteristics of heritage items located in proximity.</p> <p>The rear (south) and west side elevations of the building together with the rear two-storey wing are assessed being of Little heritage value.</p>	

Building/ Element	Site	Significance	Commentary	Photo
		Little (Ground floor facades)	<p>Ground floor façade and shop windows have been heavily modified and therefore are not considered of significance.</p> <p>The awning is also a later addition.</p> <p>Interiors of the building were not accessible and therefore have been ranked as being of moderate significance to allow for appropriate archival recording in a future internal demolition.</p>	
109 Hunter Street façade		Moderate	The façade of the commercial terrace located at 109 Hunter Street is considered of moderate significance, as a typical example of Inter-War building that was reconstructed matching the details of the original building dating from 1926.	
		Little	<p>Ground floor façade and shop windows have been heavily modified and therefore are not considered of significance.</p> <p>The awning is also a later addition.</p>	
105 Hunter Street façade		High	<p>The commercial terrace located at 105 Hunter Street is considered of High significance, as a contributory building dating from the mid-1920s.</p> <p>The original lift & lift shaft survive and considered of being High significance. It can be salvaged and relocated as an interpretive element within the future common areas of the new building.</p>	

Building/ Element	Site	Significance	Commentary	Photo
		Little	<p>Ground floor façade and shop windows have been heavily modified and therefore are not considered of significance.</p> <p>The original awning has also been removed.</p>	
3 Morgan Street façade		Little	The Calvary Chapel building is not considered of particular significance, dating from a later period of development. It does not contribute to the streetscape.	
Blackall House façade	House	Moderate (exterior) Little (interiors)	<p>Blackall House is of Moderate significance as a building dating from the Inter-War period. It is a typical example of a community facility with simple architectural aesthetics.</p> <p>Interiors of the building have been significantly modified with no discernible layout of the original or earlier configuration remaining, and therefore they are of Low significance. There are some detailing of interest including leadlight glazing.</p>	
66 King Street façade		Little	The building located at 66 King Street is a more recent development and is not considered of particular significance. It is not considered to positively contribute to the streetscape.	

Building/ Element	Site	Significance	Commentary	Photo
74 King Street façade		Little	The timber residence at 74 King Street is a typical example of its kind and is not considered of particular significance.	
1 Morgan Street façade		Moderate (exterior) Little (interiors)	The "Arcadia Flats" building is an example of an Inter-War residential flat building on a small scale (consisting of four apartments). The character of the building reflects the character of Blackall House, which it has a direct relationship with due to the topography of Block 4. Although there are some internal features remaining in scattered form within the building, its overall integrity is Low.	

5. HERITAGE IMPACT ASSESSMENT

5.1. Statutory Controls

The subject site comprising of Blocks 3 and 4 of Newcastle East End Precinct contains a site that is listed as a heritage item under Part 1, Schedule 5 of the Newcastle LEP 2012. Blocks 3 and 4 are also located within the Newcastle City Centre Heritage Conservation (C4). The subject site is also located within close proximity to a number of heritage items and therefore is subject to the heritage in the Newcastle LEP 2012 and the Newcastle DCP 2012.

5.1.1. Newcastle Local Environment Plan (LEP) 2012

The proposal is addressed below in relation to the relevant clauses of the LEP.

Clause 5.10 Heritage Conservation	Discussion
<p>(2) Requirement for consent Development consent is required for any of the following:</p> <p>(a) <i>demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):</i></p> <ul style="list-style-type: none"> i) <i>a heritage item,</i> ii) <i>an Aboriginal object,</i> iii) <i>a building, work, relic or tree within a heritage conservation area,</i> <p>(b) <i>altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,</i></p> <p>(c) <i>disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,</i></p> <p>(d) <i>disturbing or excavating an Aboriginal place of heritage significance,</i></p> <p>(e) <i>erecting a building on land—</i></p> <ul style="list-style-type: none"> i) <i>on which a heritage item is located or that is within a heritage conservation area, or</i> ii) <i>on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,</i> <p>(f) <i>subdividing land—</i></p> <ul style="list-style-type: none"> i) <i>on which a heritage item is located or that is within a</i> 	<p>Blocks 3 and 4 of the NEE Precinct are located within the Newcastle City Centre Heritage Conservation Area (C4) and 'Municipal Building', located at 122-132 Hunter Street within Block 3 (item no. I403) is also listed as a heritage item of local significance under Part 1, Schedule 5 of the Newcastle LEP 2012. In addition, the subject Blocks 3 and 4 are in proximity to a number of heritage items. The proposed works involve the incorporation of various heritage and contributory items with associated alterations and additions as well as complete demolition of some neutral buildings to replace with a new development within the conservation area; therefore, consent is required under Clause 5.10 (2) and its subsequent clauses.</p>

Clause 5.10 Heritage Conservation	Discussion
<p><i>heritage conservation area, or</i></p> <p><i>ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.</i></p>	
<p>(4) Effect of proposed development on heritage significance</p> <p><i>The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).</i></p>	<p>In accordance with this clause, this HIS has given careful consideration to the proposed works (part adaptive re-use, alterations and additions, demolition and erection of new buildings) and their impact on the heritage significance of the subject Municipal Building (item no. 1403), the Newcastle City Centre HCA and the heritage items located in proximity. A detailed impact assessment has been provided under the Newcastle DCP controls in <i>Section 5.1.2 - Newcastle Development Control Plan (DCP) 2012</i>.</p>
<p>(5) Heritage assessment</p> <p><i>The consent authority may, before granting consent to any development:</i></p> <p><i>(a) on land on which a heritage item is located, or</i></p> <p><i>(b) on land that is within a heritage conservation area, or</i></p> <p><i>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</i></p> <p><i>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</i></p>	<p>This HIS has been prepared in accordance with this clause due to the item of local significance located within Block 3 of the subject study area, Blocks 3 & 4 located within an HCA and proximity to other heritage items as detailed in <i>Section 1.4 - Heritage Listing</i>. It follows the methodology in line with the Heritage NSW Manual "<i>Statement of Heritage Impact</i>" and "<i>Assessing Heritage Significance Guidelines</i>."</p>
<p>(6) Heritage conservation management plans</p> <p><i>The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.</i></p>	<p>A CMP has been prepared for the Newcastle East End Blocks 3 and 4 by CPH in March 2023. Relevant information from the CMP has been included throughout this report and the relevant conservation policies have been considered to assess the proposed works in <i>Section 5.2 - Conservation Management Plan Policies</i>. The CMP has also informed the assessment of significant fabric with Ranking of Significance for individual areas.</p>
<p>(7) Archaeological sites</p> <p><i>The consent authority must, before granting consent under this clause to the carrying out of development on an archaeological site</i></p>	<p>The Aboriginal and Historical Archaeology Report for the Newcastle East End Staged Development Application, prepared by Umwelt in 2017, identified the following archaeological potential⁶⁸:</p>

⁶⁸ Umwelt (2015), 'The Aboriginal and Historical Archaeology Report - Newcastle East End Staged Development Application', pp.35.

Clause 5.10 Heritage Conservation	Discussion
<p><i>(other than land listed on the State Heritage Register or to which an interim heritage order under the Heritage Act 1977 applies):</i></p> <ul style="list-style-type: none"> <i>(a) notify the Heritage Council of its intention to grant consent, and</i> <i>(b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.</i> 	<p><i>Historical records indicate that the majority of the subject site likely remained undeveloped until the mid nineteenth century, when development of individual allotments established as part of Dangar's town plan in 1823 commenced for commercial, light industrial and residential use. By the 1870s most of the subject site had been developed.</i></p> <p>...</p> <p><i>Many of the twentieth century constructed buildings were built over late 1870-1880s constructed buildings, some of which were constructed over earlier (1850s) structures. The potential for an intact archaeological resource to be present over much of the subject site will depend on the level and methods of demolition of the earlier structures and the method of construction of the later buildings that replaced them.</i></p> <p>...</p> <p><i>The subject site has the potential to contain archaeological evidence of Aboriginal occupation of the area and historical development and occupation throughout the nineteenth and twentieth centuries. In addition, evidence of early contact between Aboriginal people and European settlers may also be present within the subject site.</i></p> <p>As such, the potential for an intact archaeological resource to be present over much of the subject site will depend on the level and methods of demolition of the earlier structures and the method of construction of the later buildings within Block 3 & 4. As the proposed works require physical subsurface disturbance to areas of archaeological potential across the subject site, the works are most likely to require approval (or an exception from the need for approval) from the Heritage Council of NSW (under Section 139 of the <i>Heritage Act 1977</i> [NSW])).</p> <p>Regardless, should any unexpected findings be uncovered during construction, a stop-work provision will be applied, and exposed findings will be assessed in accordance with the provisions of the <i>NSW Heritage Act, 1977</i>.</p>
<p>(8) Aboriginal places of heritage significance</p> <p><i>The consent authority must, before granting consent under this clause to the carrying out</i></p>	<p>The Aboriginal and Historical Archaeology Report for the Newcastle East End Staged Development Application, prepared by Umwelt in 2015, identified the following Aboriginal archaeological potential⁶⁹:</p>

⁶⁹ Umwelt (2015), 'The Aboriginal and Historical Archaeology Report - Newcastle East End Staged Development Application', pp. 28, 34.

Clause 5.10 Heritage Conservation	Discussion
<p><i>of development in an Aboriginal place of heritage significance:</i></p> <p>(a) <i>consider the effect of the proposed development on the heritage significance of the place and any Aboriginal object known or reasonably likely to be located at the place by means of an adequate investigation and assessment (which may involve consideration of a heritage impact statement), and</i></p> <p>(b) <i>notify the local Aboriginal communities, in writing or in such other manner as may be appropriate, about the application and take into consideration any response received within 28 days after the notice is sent.</i></p>	<p><i>It is anticipated that past Aboriginal use of the Newcastle CBD (Mulubinba) would have resulted in deposition of significant quantities of archaeological material due to its extensive use over a significant period of time. Sites expected to have occurred within the locality include artefact scatters/isolated artefacts, shell middens, sites containing evidence associated with early contact with non-Aboriginal people (for example, glass that has been flaked in a similar fashion to stone to make tools) and burial sites, both pre- and post-contact.</i></p> <p>...</p> <p><i>The subject site has been subject to extensive modification since European contact, and this may have resulted in the total or partial loss of Aboriginal archaeological deposits. Conversely, some sections of the subject site have not been subject to deep excavation since European contact, and in these areas, archaeological deposits may be retained, although subject to some level of disturbance.</i></p> <p>...</p> <p><i>In the unlikely event that a potential burial site or potential human skeletal material is exposed within the subject site, the following procedure would need to be followed in accordance with the Policy Directive –Exhumation of Human Remains (NSW Department of Health 2008), Skeletal Remains – Guidelines for the Management of Human Skeletal Remains under the Heritage Act 1977 (NSW Heritage Office 1998) and the Aboriginal Cultural Heritage Standards and Guidelines Kit (NPWS 1997):</i></p> <p><i>if the remains are identified as Aboriginal, the site is to be secured and OEH and all registered Aboriginal parties are to be notified in writing</i></p> <p>A search on the Aboriginal Heritage Information Management System (AHIMS) did not return any known Aboriginal site within 50m buffer of the site; however, 2 Aboriginal sites were identified in 200m buffer and 12 Aboriginal sites within 1km buffer. In addition, the Aboriginal and Historical Archaeology Recommendations of the Umwelt assessment should be adhered to for any unexpected finds.</p>

5.1.2. Newcastle Development Control Plan (DCP) 2012

The following table addresses the proposal in relation to the relevant clauses of the Newcastle DCP as they relate to heritage. Note: While Sections 5.03 Aboriginal Heritage and Section 5.06 Archaeological Management may apply to the subject site, detailed consideration of these relevant clauses is considered beyond the scope of this report. As such, reference should be made to the Aboriginal and Historical Archaeology Report prepared by Umwelt in October 2015 and the Historical Archaeological Assessment report from June 2017.

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
5.05.01 General principles <u>Controls</u> <i>1. Any development application for works to a heritage item is accompanied by a Heritage Impact Statement, Conservation Management Plan, or Conservation Management Strategy, as required by the Newcastle Local Environmental Plan 2012.</i>	<p>As detailed above, this Heritage Impact Statement has been prepared in order to accompany the development application and assess the potential heritage impact of the proposed works. This HIS has considered the 2022 CMP produced by CPH specifically for Blocks 3 & 4 of the Newcastle East End Precinct, to inform the report and assess the proposal.</p>
<i>2. Development of a heritage item:</i> <i>(a) is consistent with the Heritage Impact Statement, Conservation Management Plan or Conservation Management Strategy</i>	<p>The proposed works have been devised in consultation with CPH and with consideration of the findings of the CMP for Blocks 3 & 4 of the Newcastle East End Precinct. As such the relevant policies within the CMP have been implemented in the proposed design where possible and where structural conditions allowed to ensure the protection and conservation of the heritage fabric present within the subject site. See <i>Section 5.2 - Conservation Management Plan Policies</i> for detailed responses to the relevant conservation policies from the CMP.</p>
<i>(b) is consistent with the Statement of Heritage significance for the item</i>	<p>The redevelopment and part adaptive reuse of the subject site to accommodate residential uses with ground floor allocated for commercial/retail purposes has been assessed with acknowledgment of the Statement of Heritage Significance in Section 4.2 - Statements of Significance. The proposed residential and commercial development will enhance the public appreciation of the heritage item and is consistent with historical public access and commercial uses of the former Municipal Building.</p>
<i>(c) protects the setting of the heritage item</i>	<p>The proposed redevelopment of Blocks 3 & 4 included an assessment of the setting of the site and the Newcastle East End Precinct generally. The proposed design seeks to improve the existing streetscape appearance of the heritage and contributory items located within the site, while also ensuring there is no adverse impact on the surrounding historic urban context and heritage items located within proximity. The resultant design is considered to positively contribute to the existing and future setting, which will improve views to the Cathedral from the Harbour by</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
	<p>creating a new corridor from the harbourside on the north to King Street on the south. In addition, works to the streetscapes and creation of a publicly accessible pedestrian laneway in the west to east direction linking to the other Blocks (1 and 2) of the NEE will serve to reactivate the public domain.</p> <p>Assessment of impact on the setting of the heritage item has been discussed in further detail in <i>Section 5.2 - Conservation Management Plan Policies</i>.</p>
<p><i>(d) retains the significant internal and external spaces and to recycle, re-purpose and reuse fabric and building elements</i></p>	<p>The proposed development aims to conserve and retain original fabric of the heritage item (Municipal Building - item no. 1403) and contributory items located within Blocks 3 & 4 where conditions of the fabric and structural integrity allow. This will be achieved through retaining original intact fabric where present, particularly to the external street façades.</p> <p>In the case of the Municipal Building, retention will include most of the extant original external fabric and finishes, including arched window fenestration and decorative parapet detailing. While the concept design included retention of very little surviving original fabric in the interior that includes a few early walls and layout to the Hunter Street portion of the building with later arched openings on Level 2, retention of these original fabric based on the recent fabric investigations and poor and highly modified nature and structure of the walls is not considered justified. Their removal and replacement with a similar layout and new walls to suit the new residential unit layouts is an acceptable compromise. As evident, the interiors of the buildings have been heavily modified numerous times over the years and very little original intact fabric remains internally in particular within the contributory buildings (as reflected in Section 2 (Site Context and Description) and Section 4 (Assessment of Significance)).</p> <p>While this will mean for some buildings (former Municipal Building, Sanitarium Building, and commercial building at 105 Hunter Street) only the façade are retained, the proposed design is considered an acceptable replacement and will provide an opportunity for rejuvenation of these buildings and appreciation of their historical importance to the Newcastle City Centre. This will be achieved through providing visual access from within the new public laneway along Hunter Street and improving the streetscape appearance of the buildings. The design of the new development is also in keeping with the approved level of retention detailed in the drawings submitted as part of the approved Staged DA (DA2017/00701).</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
<p><i>(e) avoids “facadism” by using all of the components of the building including, but not limited to, the structure, floor, roof, floor and wall framing, fittings and finishes, fabric and materials</i></p>	<p>While every effort has been made to avoid facadism, further investigation into the significant internal features of the heritage item, former Municipal Building that still remain, which include only the structural walls and floor framing over two upper levels, their retention could not be possible due to the unknown changes made to the walls in an ad-hoc manner hidden behind the cladding and a large number of partition walls featuring awkward detailing and materials as noted above.</p> <p>The connection to the new landscaped corridor and the northern facades with full height open scale invites people into the space to enable appreciation of the former Municipal Building. Users of the place will experience and directly interact with the historic spaces and fabric of the heritage item, which has been deteriorated with time. The later unsympathetic additions and intrusive elements will be removed and replaced with appropriately scaled contemporary but complementary infill buildings and extensions similar to those seen in Blocks 1 and 2 of the NEE development.</p>
<p><i>(f) removes alterations and additions that are unsympathetic to the heritage significance of the heritage item</i></p>	<p>The proposed development seeks to remove elements of the structure that are considered unsympathetic to the heritage significance of the former Municipal Building. This includes the ground floor façade and shop windows that have been heavily modified to accommodate the contemporary retail stores. The awning is also a later addition and therefore is not considered of significance and are unsympathetic to the heritage significance of the heritage item. A balanced approach to heritage conservation and incorporation into the new development in line with the overall NEE precinct have been adopted across the site.</p>
<p><i>(g) reinstates missing building elements and details</i></p>	<p>The proposed development aims to reinstate where necessary any missing elements of the heritage item and the contributory buildings. Since the original façade of the heritage item (Municipal Building) and contributory buildings within Blocks 3 and 4 are still intact with original elements and detailing, reinstatement of the missing details is not required. However, the western wall of the former Municipal Building requires demolition, followed by reconstruction to match existing due to the structural instability issues. The reconstructed wall will be acquiring the same form and location with inclined design along the parapet to match the original configuration. Reconstruction has been informed by the physical evidence of the original detailing.</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
	<p>This will require a more detailed fabric analysis prior to and during the construction phase. Hence, it is recommended that a Condition of Consent will be imposed to inform a future Schedule of Conservation Works for the conservation of the heritage item in its new residential reuse.</p>
<p><i>(h) uses materials, finishes, and colours that are appropriate to the architecture, style and age of the heritage item</i></p>	<p>During the design development and competition phase, an analysis of the existing materiality of Blocks 3 and 4 was undertaken to ascertain the most appropriate materials, finishes and colours to be used in the proposed redevelopment. Each of the proposed new infill buildings and the vertical additions will have a different treatment that directly respond to firstly, the heritage item (former Municipal Building) and the contributory buildings within the blocks, and secondly the surrounding heritage context and general built fabric within the vicinity maintaining a consistent architectural language across the NEE precinct. The design team which includes the principal architectural firm for Stage 1 of the NEE development ensures linking of both west and east end of the NEE precinct through a similar design approach while also providing block specific design elements for the various characteristics and periods of the historical context of both within and around Blocks 3 and 4.</p> <p>For the former Municipal Building, the new infill addition at the rear has been carefully considered with prominent features and setting along both Hunter and Morgan Streets as well as airspace are being retained and conserved.</p> <p>The materials and finishes to be used in the redevelopment of the site have been selected so as to be compatible with the existing significant finishes of the site while also upon close inspection being identifiable as new work where they directly abut on the side or above the heritage facades or buildings.</p> <p>New elements including additions and extensions have been designed to be of recessive colours and finishes that don't compete with the significance of the historic elements of the site, while also being of contemporary palette of material harmoniously blending in.</p>
<p><i>(i) reinforces the dimensions, pattern and style of the original window and door openings of the heritage item</i></p>	<p>The style and configuration of the significant window openings of the site are to be retained and referenced in the design of new works, including the significant arched windows at the interior of the Level 2 of the former Municipal Building. The new work involves intervention into fabric previously and significantly altered during changes made to suit previous shopfront layouts at ground floor level facing Hunter Street. As such, these works can be considered a</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
	positive change to assist in the interpretation of the past significant use and history of the site.
<p><i>(j) maintains and repairs building elements in order to retain the heritage item in a serviceable condition commensurate with its heritage significance.</i></p>	<p>The aim of this proposal is to incorporate the existing Municipal Building as a residential apartment building with ground floor used as retail which involves the repair of significant built elements of the site externally and internal structural framing to reactivate it and enhance its heritage values and aesthetics to serve the new uses in a structurally sound and improved condition. This will facilitate the return of the heritage item to a serviceable condition and the ground floor will continue to serve as a commercial place accessible to the public.</p>
<p>5.05.02 Integrating heritage items into new developments</p> <p><u>Controls</u></p> <p>1. Where a conservation management plan or conservation management strategy, prepared for a heritage item, supports the incorporation of a development proposal with a heritage item, the design of the proposal includes appropriate measures to:</p> <p><i>(a) ensure the heritage significance of the item is conserved. A written statement outlines how the proposal achieves the conservation of the item's heritage significance</i></p> <p><i>(b) retain a suitable setting for the heritage item that enables the continued appreciation and integrity of the heritage item</i></p> <p><i>(c) ensure that repair and stabilisation treatments to heritage items identified in the conservation and design process are carried out to promote the conservation of the item</i></p> <p><i>(d) ensure that interventions do not affect the long term preservation of the fabric and construction of the heritage item.</i></p>	<p>The site specific CMP prepared for Blocks 3 & 4 of the Newcastle East End Precinct, considers the potential redevelopment of the block and provides recommendations to ensure any future works do not impact on the significance of the heritage item (Municipal Building) and contributory buildings located within the site or within proximity to the site and the HCA. Consideration has been given to the policies outlined in the Blocks 3 & 4 CMP for redevelopment and have been covered in Section 5.2 below.</p> <p>In relation to the stipulations detailed in this clause, the proposed works to Blocks 3 & 4, as it was for Blocks 1 & 2, have been designed to rejuvenate and reactivate the Hunter Street Precinct, while also celebrating the significance of the heritage fabric located within the area and specifically within Blocks 3 & 4. As noted earlier, the works undertaken will also include conservation to original fabric, in line with the conservation policies detailed in the CMP. Similar to Blocks 1 & 2, CPH will be preparing a site specific Schedule of Conservation Works to accompany the construction documentation for the proposed development, which will provide in depth guidelines for the repair and stabilisation of the heritage listed item within the site and contributory buildings.</p> <p>The significance of the Municipal Building relates to its architectural character within the Hunter Street Precinct as an interesting example of an Edwardian commercial building. While the building has been heavily modified externally including west and south elevations, at ground floor level and internally to accommodate the contemporary office layout, the original facebrick detailing of the façade with arched openings is clearly visible, which will be retained and conserved under the proposal. The interiors of the building as previously indicated, while the structural walls remain on levels 1 and 2 their ad-hoc modifications do not provide an opportunity for confidently integrating them into the new layout. It is</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
	<p>also unclear how much of the internal arched configuration is original as some of the arched openings are partially include plasterboard infill walls. Notwithstanding, most of the internal walls to the current front offices will be reconstructed in the new configuration of the residential units reflecting a similar layout together with the central corridor. None of the new walls will change the external elevations and window configuration of the former Municipal Building along Hunter Street. The additional walls within two units will abut from the centre of two window frames but will not be visible from the public domain.</p> <p>Similarly, the facades of the former Sanitarium building at 111 Hunter Street at the commercial building at 105 Hunter Street is also considered of being high significance. The former Sanitarium Building has façade that demonstrates an excellent and elaborate example of the Victorian Free Classical style.</p> <p>As noted previously, the interiors of both heritage items and contributory buildings have been significantly modified and deteriorated, and as such requiring considerable amount of repair and restoration works to enable their integration into the proposed mixed-use development incorporating retail/commercial on the ground floor with residential apartments above.</p> <p>All extant original external fabric and detailing of the heritage item noted above will be conserved under the new development.</p> <p>The conservation works are not only limited to the heritage item, but they will also be extended to the contributory buildings in the form of repairs, maintenance and reinstatement works to restore their original streetscape presentations and ensure their long-term contribution to the Newcastle East End and the HCA. Redevelopment works will also include salvage of the original pressed metal ceiling at the interiors of the commercial building at 105 Hunter Street to be repaired and reinstated in common areas.</p> <p>The ground floor retail shopfronts will be replaced with new compatible detailing consistent with the design approach employed across the Newcastle East End Precinct. This will involve provision of continuing strips of awnings suitable to the architecture of both the existing contributory buildings and the new infill development.</p> <p>Through consideration of development areas and the application of design principles that are carried across the entire Newcastle East End Precinct redevelopment, the significance of the heritage item and contributory buildings will not be adversely</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
	<p>impacted. As noted earlier, a future Schedule of Conservation Works will identify the internal elements and finishes that are required to be either reconstructed in situ due to their poor structural conditions or relocated to another space within the same building as in the case of pressed metal ceilings and the lift car and motor.</p> <p>Consideration of the setting and context of the site has been undertaken during the concept and detailed design process, which has informed the design excellence competition and the follow up development application documentation. The streetscape presence of the buildings will be retained, particularly along Hunter Street and at the corner of Morgan Street. All new development and vertical additions (105 -111 Hunter Street) have been set back where the new addition will cantilever above the building aligning with its façade but separated by the height of the setback podium over the building. The new additions will reference the form, character and materiality of the heritage item and contributory buildings, while also ensuring they are neutral and do not detract. Through the consultative design process, design principles have been employed that strike a balance between enhancing the heritage fabric of the site, while creating a contemporary and functional development. The proposed development design is considered to respect the existing setting, articulation, lot patterns and context of Blocks 3 & 4 buildings, while also improving and enhancing it.</p>
<p>5.05.03 Changing the use of a heritage item</p> <p><u>Controls</u></p> <p><i>1. Any proposal for a change of use, including the adaptive reuse of a heritage item,</i></p> <p><i>demonstrates the following:</i></p> <p><i>(a) compliance with the Building Code of Australia addressing the performance-based design solutions if necessary</i></p>	<p>Assessment of the proposed development's compliance with the Building Code of Australia (BCA) is beyond the scope of this heritage impact statement. Reference should be made to the separate report by a BCA consultant, which forms part of the DA documentation.</p>
<p><i>(b) the new use minimises alteration of significant fabric and detailing, and incorporates existing fabric into the development proposal</i></p>	<p>The proposed works involve integration of the former Municipal Building into the new development to accommodate retail/commercial activity on the ground floor and residential apartments on the upper levels. The contributory buildings along Hunter Street will also be integrated to accommodate a similar use with ground floor areas for commercial and retail activities. As evident from the drawings submitted the original/current extant layout of the buildings will be retained in the same locations across the front</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
	<p>sections where possible in particular the former Municipal Building with a considerable amount of conservation works undertaken to the facades and salvaged elements in their new locations This proposal will reactivate the heritage place with the incorporation of its existing significant fabric, such as the reuse of the salvaged pressed metal ceilings similar to those reused within the former David Jones building (now QT Hotel) and Washington House as part of the Stage 1 of NEE.</p>
<p><i>(c) alterations to the interior spaces minimise the effect on the exterior of the heritage item and promotes the integrity of the heritage item</i></p>	<p>Alterations to the interior spaces of the item seek to accommodate the use of residential units with ground floor serving as retail. As noted earlier, the internal wall layout follows a similar configuration as the existing office layout with only two units on level 1 having additional two walls abutting from the central window mullion with wide section that prevents the new wall being visible from the public domain.</p> <p>The proposed designs seek to highlight the heritage character of the site while also providing a much-needed upgrade to the site. Also, the facades of the contributory buildings will be conserved with only repairs and maintenance works undertaken to ensure long-term protection.</p>
<p><i>(d) the significant original use of the heritage item is interpreted</i></p>	<p>The proposed new uses of the new development are mixed-use incorporating retail/commercial and residential uses. The commercial and retail use of the former Municipal Building will be maintained within the ground floor of the new development with upper floors to accommodate residential apartments.</p> <p>The current use of the building for retail/commercial on the ground floor and offices on the upper floors, as indicated in the CMP for Block 3, is no longer feasible and have ceased. The new mixed retail and residential uses will ensure the active use of the building and Block 3 as a social and historic hub of the city centre. The current layout of the upper floors behind the façade will be largely interpreted in the residential layout through new internal walls and floors.</p>
<p><i>(e) ensures that original crests, dates, logos, and building names are retained in situ</i></p>	<p>The design of the proposed development does not involve the removal of original crests, dates, logos or building names where exist. The building names on the parapets of the former Municipal building depicting "Municipal Buildings, 1908, A. Cook. Mayor" and the "Sanitorium Building" will be retained and preserved in situ.</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
<i>(f) minimises the impacts from the introduction of new services into the interior and the exterior of the heritage item.</i>	Details regarding the proposed installation of services have not been provided prior to production of this report, however, it is understood that any new services will ensure there is no adverse impact on significant fabric of the exteriors
<i>2. The history of uses of a building is interpreted on the site in the form of interpretation panels, artefact and photographic displays, in situ retention of machinery and signage, and or artistic interpretation.</i>	<p>An interpretation strategy has not been prepared at this stage. Recommendation for the preparation of a heritage interpretation strategy for Blocks 3 & 4 in line with the heritage interpretation of Blocks 1 and 2 to be made as a condition of consent. There are a number of ways in which the proposed works have been designed to subtly reference and interpret the historic character of the heritage fabric present onsite.</p> <p>As per the proposal, the existing early timber automatic elevator from Standard-Waygood Limited in the commercial building at 105 Hunter Street will be moved to the publicly accessible ground floor area of the redeveloped building to interpret the historic functioning of the site. In addition, the pressed metal ceiling panels to be salvaged from the commercial building at 105 Hunter Street will be salvaged during the redevelopment works. The salvaged pressed metal ceilings will either remain in-situ based on their existing condition or will be reinstated in the common areas of the ground and mezzanine levels of the redeveloped building. A salvage strategy & methodology is also recommended to be made as a condition of consent to identify elements and fabric to be salvaged across Blocks 3 & 4 for reuse either within the new development or as part of the interpretive media.</p>
<p>5.05.04 Conserving significant elements of adjoining public domain</p> <p><i>1. Original paving treatments are retained and replicated in the repair and reinstatement of paved surfaces.</i></p> <p><i>2. Timber post and rail ordnance fencing is repaired and reinstated in public domain projects.</i></p> <p><i>3. Original or significant signposts, lamp posts, boundary markers, survey marks, flushpavement street names, are retained in situ.</i></p> <p><i>4. Sandstone steps, and sandstone kerb and gutter, are maintained in good order and kept throughout the local government area.</i></p> <p><i>5. Masonry structures, including retaining walls are maintained in good order and kept throughout the local government area.</i></p>	<p>The proposed works for Blocks 3 & 4 of NEE Precinct include changes to public domain features, while considering the existing fabric and the City of Newcastle Public Domain Manual and other relevant guidelines. It is evident that with the exception of King street stone retaining wall below the footpath there are no public domain features located within the site of Blocks 3 & 4 that are considered of significance. The subject stone blocks will partially need to be removed for the resolution of conflict between the road and new building levels. This has also been strongly supported by the Government Architect and the members of the Design Competition Jury and the Design Integrity panel post the competition. The removed stone blocks will be reused as part of the landscape and public domain where possible.</p> <p>A pedestrian lane has been provided as part of the Blocks 3 & 4 design linked to the existing Block 3</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
<p>6. <i>Where practical, new kerb and gutter, and/or new pram ramps are sited away from significant sandstone kerb and gutter and minimise the removal of historic concrete and linear sandstone.</i></p> <p>7. <i>Evidence of early road surfaces and concrete kerb and gutter are retained in situ.</i></p> <p>8. <i>Footway paving is selected to match the existing palette of paving materials in a precinct, and reconstructed to match the original pavement where it is missing or damaged.</i></p> <p>9. <i>Landscaping, including trees, gardens and horticultural elements of heritage significance are retained. Replacement species are to be selected based on the heritage significance of the heritage item.</i></p>	<p>laneway which continues the laneway connection from Blocks 1 & 2.</p> <p>While evidence of early road surfaces and concrete kerb and gutters have not been identified to date, the Archaeological Assessment prepared by Umwelt, indicates there is some chance for remnants to be found. As such, should such findings be uncovered during the works, a stop-work provision will be applied, and exposed findings will be assessed in accordance with the provisions of the <i>NSW Heritage Act, 1977</i>.</p> <p>The proposed material and colour scheme for the public domain area around Blocks 3 & 4 follows the principles of public domain design from Blocks 1 & 2 as this public domain language will be applied throughout the Hunter Street East End Precinct and will seek to rejuvenate the appearance of the public domain. As such, the palette chosen is a contemporary upgrade of the existing palette employed, serving to compliment the surrounding heritage and built character of the area.</p> <p>There are no landscape elements within Blocks 3 & 4 that can be considered of heritage significance. Most vegetation located within the surrounding streets and between the limited garden courts of Blocks 3 & 4 appear to be more recent plantings that are not directly associated with the heritage significance of the buildings located on the site.</p>
<p>5.05.06 Development in the vicinity of a heritage item</p> <p><u>Controls</u></p> <p>1. <i>New development and alterations and additions in the vicinity of heritage items respects and enhances the setting and significance of the heritage item with regard to the following elements:</i></p> <p>(a) <i>building envelope</i></p> <p>(b) <i>proportions</i></p> <p>(c) <i>setbacks</i></p> <p>(d) <i>material and colours.</i></p> <p>2. <i>Development in the vicinity of heritage items respect the heritage item by:</i></p> <p>(a) <i>retaining adequate space around the heritage item to enable its interpretation</i></p> <p>(b) <i>conserving significant landscaping including horticultural features, trees, and outbuildings</i></p>	<p>Blocks 3 & 4 are located within direct proximity to a number of heritage items, as detailed in Section 1.4. The design of the NEE Stages 3 & 4 development has been subject to a Design Excellence Competition decided in August 2022, with the current detailed works based on the winning design scheme by SJB, DBJ and Curious Practice. During the design development phase six (6) Design Integrity meetings were held with the Jury members to progress the winning design, consideration was also given to the heritage context of the site and the Newcastle East End Precinct, and the resultant design is considered sympathetic and a positive outcome for the area. This was particularly important for the relationship of the site with the Christ Church Cathedral and the views to and from the hill.</p> <p>The proposed redevelopment of Blocks 3 & 4 seeks to compliment the surrounding heritage items while also enhancing their streetscape appearance and adding to their streetscape contribution and prominence. The proposed building to the rear of the existing heritage item in Block 3 and above the contributory buildings in Block 4 have been designed to be recessive in form and are setback from the Hunter Street façades behind the parapets with transitional setbacks to</p>

Newcastle DCP 2012, Part 5.05 Heritage Items	This proposal relates to these matters as follows:
<p><i>(c) enabling archaeological sites to be conserved in accordance with relevant approvals</i></p> <p><i>(d) retaining significant views and lines of sight to the heritage item.</i></p>	<p>ensure that any visual impact on the views to, or appreciation of the buildings, is minimised. The visibility of the new additions behind heritage and over contributory items is acceptable when consideration is given to its contemporary but compatible design, and materials and finishes palette, which will make use of materials, form and detailing that complements the traditional characteristics of the historic façades.</p> <p>The existing buildings are built to the street alignment and as such, do not have a setback. This is the case for the majority of the area, due to the size of the allotments. As such, the proposed new infill buildings have been set to retain the existing pattern along the street alignment, to harmonise with the built form rhythm within their respective streetscape. In addition, the infill buildings have been designed so as to reference the surrounding heritage context and will serve as a contemporary, but complimentary infill buildings. Therefore, the new buildings within Blocks 3 & 4 are considered an acceptable outcome that will not adversely impact on the surrounding heritage items.</p> <p>As previously detailed, there are no significant landscaping features located within Blocks 3 & 4.</p> <p>The proposed works also do not involve changes related to archaeological sites that have been identified in Part 3 of the Newcastle LEP 2012.</p>

Newcastle DCP 2012, Part 6.02 Heritage Conservation Areas	This proposal relates to these matters as follows:
<p>6.02.01 Alterations and Additions in heritage conservation areas</p> <p><u>Controls</u></p> <p><i>Architectural Character</i></p> <p><i>10. Additions respect the host building, preserving the significant aspects such as scale, roofscape, building form, external materials, details, and bulk.</i></p>	<p>The proposed redevelopment and new structures to Blocks 3 & 4, as previously detailed, have been designed in consultation with CPH and various other consultants over an extended period of time commencing from the Design Excellence Competition to the detailing of the current design through to a series (6) Design Integrity panel meetings, in order to ensure the best outcome for the heritage context of the site. As a result, the proposed design is considered to reactivate Blocks 3 & 4 of the NEE Precinct, while also ensuring the development has a positive impact on the changing character and form of the HCA. Extensive consideration has been given to the scale, roofscape, building form, external materials, details and bulk of buildings located within the HCA and the general design principles employed for the site directly respond to these forms. This is particularly evident in buildings along the northern half of Blocks 3 & 4 facing Hunter Street, whereby the vertically proportioned narrow bays and façade fenestrations as well as the</p>

Newcastle DCP 2012, Part 6.02 Heritage Conservation Areas	This proposal relates to these matters as follows:
	<p>building width pattern have been directly referenced and interpreted.</p> <p>The proposal aims to conserve and improves the streetscape presentation of Hunter Street through the part retention and conservation of the contributory buildings at 105 and 111 Hunter Street. The design of the proposed works is compatible with the surrounding built form and urban pattern. All fabric and façade elements nominated for retention have been retained as much as practicable and structurally possible with the exception of the façade of 109 Hunter Street, which is considered lesser significance due to its reconstructed nature. The proposed works for these commercial buildings include:</p> <p>111 Hunter Street: The proposal will retain the three-storey facade maintaining the current building form integrated within the newly developed fine grain of the additions. The vertical addition above the building follows the solid-to-void articulation of the existing Victorian façade with emphasis on its horizontal fenestration and banding.</p> <p>109 Hunter Street: The façade of the existing building, which is not original fabric, is not retained but interpreted in the new infill building to maintain the individual building pattern and scale through the lower infill between 111 Hunter Street and 105 Hunter Street, keeping the skyline rhythm similar to the existing buildings.</p> <p>105 Hunter Street: The proposal allows for most fabric retention externally as discussed above. The works focus on the retention of the majority of the external fabric of the commercial buildings located at 111 and 105 Hunter Street) and will positively impact the significant surroundings.</p>
<p><i>11. Roof conversions occur where the host roof is a high pitch and can accommodate rooms largely within the roof volume. Depending on the significance and the style of the building, dormer roof windows to provide light and ventilation are permitted.</i></p>	<p>The proposal does not involve any roof conversions and is therefore this clause is not applicable.</p>
<p><i>12. Wing additions occur at the rear. Roof pitch matches that of the host building with additions constructed in a manner that reflects the detailing of the host building.</i></p>	<p>The rear extensions and nature of the buildings within the blocks 3 & 4 are different from a singular building. The majority of the additions proposed as part of the redevelopment of Blocks 3 & 4 are located towards the rear of the heritage and contributory buildings (especially with significant facade) and above as vertical additions on Block 4.</p>

Newcastle DCP 2012, Part 6.02 Heritage Conservation Areas	This proposal relates to these matters as follows:
<p><i>15. Sloping sites accommodate additions that follow the slope of the land. Such additions should be located at the rear.</i></p>	<p>The topography of the site slopes downwards towards Hunter Street. The proposed additions above the contributory buildings respond to the setting and character of the buildings on site, with particular reference to the building they are related to, as well as the overall streetscape by retaining the streetscape presence of the heritage and contributory buildings. The new addition to the former Municipal Building is located separately at its rear portion and is separated by a public domain. The complexity of the site and layout of the buildings require a much more robust and different approach than a simple insertion of the additions at the rear. The proposed infill and vertical additions are appropriate responses to the existing topography and future changing character of the Newcastle CBD and the HCA.</p>
<p><i>16. Additional storey additions that alter the scale of the host building are permitted where an existing single storey building:</i></p> <p><i>(a) is not a listed heritage item</i></p> <p><i>(b) is surrounded by two to three storey buildings (c) does not negatively affect the building in its streetscape setting</i></p> <p><i>(d) does not result in a building of more than two storeys in total height.</i></p>	<p>This clause does not apply as none of the buildings within Blocks 3 & 4 are single storey.</p>
<p>6.02.02 Materials and details in heritage conservation areas</p> <p><i>1. A high proportion of the construction material from the host building are recycled and incorporated in the new additions.</i></p>	<p>Where possible, internal fabric considered of significance and sound, such as original pressed metal ceiling in the commercial building at 105 Hunter Street, will be salvaged in accordance with a future Schedule of Conservation Works and will be repaired and retained in-situ depending on its condition or reinstated in the common areas as applicable. This will create opportunities to further interpretation in addition to the retained physical fabric and evidence.</p> <p>Other fabric of importance within the buildings that will be demolished such as the Blackall House (22 Newcomen Street), number 3 Morgan Street and 66-74 King Street are leadlight glazing and a few fireplaces and timber joinery. These elements and fabric will be subject to a future salvage strategy and methodology in order to itemise their most appropriate reuse or recycling options.</p> <p>The external facades of contributory buildings of high significance (former Sanitarium Building and 105 Hunter Street) will also be retained and enhanced as part of the proposed redevelopment within Blocks 3 and 4 of the NEE Precinct.</p>

Newcastle DCP 2012, Part 6.02 Heritage Conservation Areas	This proposal relates to these matters as follows:
<i>2. The proposal builds on the materials, colours and detail seen throughout the area and which reflect the character of local precincts.</i>	As previously detailed, a study of the materiality of the heritage buildings located on the site and the surrounding area was undertaken and the proposed development employs several elements that reference the character of the local precinct.
<i>3. The materials palette proposed in an alteration and addition reflects the original design and appearance of the host building.</i>	Details regarding the materials palette employed and how it references the heritage buildings located on the site is covered under Section 5.05.01 (h) of the DCP controls.
<i>4. Traditional building elements including windows, doors, hardware, chimneys, verandahs, wall surfaces and other characteristic features of the building, are retained and repaired.</i>	As detailed above, significant elements identified in the Blocks 3 & 4 CMP will be retained and conserved where possible and practicable. The majority of these significant elements are located within the former Municipal Building as well as the façades of the contributory buildings (Sanitarium Building and Commercial Building at 105 Hunter Street) externally, however, some internal elements from the heritage and contributory buildings will also be salvaged or retained as it is as detailed above. Retention of significant fabric will be informed by a future Schedule of Conservation Works, but the paramount aim is to retain and conserve extant original fabric of the heritage item (Municipal Building) as much as practicable and technically possible.
<i>5. Sandblasting is not an acceptable method for cleaning unpainted brickwork or remove paint from brick or stone.</i>	The proposal does not involve any sandblasting for cleaning unpainted brickwork etc. A specific Schedule of Conservation Works will be prepared by CPH, similar to that of the one prepared for Blocks 1 & 2 developments, to guide the future conservation works to the heritage and contributory building. The report will provide detailed instruction on how to safely clean unpainted brickwork or remove paint/graffiti from stone or brick, where required.
<i>6. Lime mortars are replaced by mortars of similar consistency. Expert advice should be obtained for re-pointing and repair work.</i>	As above, this will be covered in the future Schedule of Conservation Works.
<i>7. External colour schemes are complimentary to the heritage conservation area, are based on research, and have regard of the setting.</i>	As above, see 5.07.01 (h)
<i>8. Exposed brickwork, stone, tiles and shingles are not painted or rendered.</i>	The proposal does not involve the painting or rendering of exposed brickwork, stone, tiles or shingles.
<i>9. Repair and replace joinery in profiles matching the original detailing.</i>	As above, conservation works will be undertaken to the existing buildings, which will involve the repair and replacement of joinery to match the original detailing.

Newcastle DCP 2012, Part 6.02 Heritage Conservation Areas	This proposal relates to these matters as follows:
<p><i>10. Where a face brick structure is proposed, this matches the brick colour and texture of the associated dwelling.</i></p>	<p>The face brick wall at the west of the former Municipal Building needs to be demolished and reconstructed due to the structural instability. The reconstruction of the significant western wall will be using salvaged bricks where possible, and contemporary bricks will be used, where additional bricks are required, directly referencing the brick colour, texture and form seen in the original building.</p>
<p>6.02.05 Gardens in heritage conservation areas</p> <p><u>Controls</u></p> <p><i>1. Trees and shrubs are planted within the property boundaries and not on the front verge which forms part of the public domain.</i></p> <p><i>2. The selection of street trees is undertaken by Council.</i></p>	<p>The proposed works involve new landscaping works to the public domain and new pedestrian laneway, following the principles applied for Blocks 1 & 2 pedestrian link allowing continuation of the network of public laneways and courts across the blocks of the Newcastle East End precinct.</p> <p>Once the construction of the NEE Blocks 3 & 4 development is completed the public domain around the precinct especially along Hunter Street Mall will be undertaken by the City of Newcastle similar to that of the Stage 1 NEE development.</p>
<p>6.02.07 Infill development in heritage conservation areas</p>	<p>The relevant controls under this section of the DCP are concerned with the character, scale, form, setbacks, orientation, materials, details and vehicle accommodation.</p> <p>These concerns have previously been explored in response to other relevant sections of the DCP. In summary, the character of the proposed development directly responds to the adjoining and surrounding heritage context and is the result of an analysis of the materiality of the HCA, heritage items and contributory items located within the site and in proximity. The resulting designs, which were subject of a Design Excellence Competition and a series of Design Integrity Panel meetings following, reflect the heritage features of the existing buildings located on the site, while also referencing the surrounding historic built form. For example, the new buildings in Stage 4 follow the same singular allotment/bays façade configuration and vertical fenestration of the heritage and contributory buildings they are associated to while respecting and complementing their scale, materials and overall playful skyline rhythm. Additionally, while the proposed redevelopment will include the construction of additions and new buildings over the contributory buildings and behind the heritage item, consideration has been given to setbacks and orientation, in order to ensure there is no adverse impact on heritage and to minimise the visual impact of the works on their streetscapes and HCA. The new additional building behind the former Municipal Building is anticipated in the Blocks 3 & 4 CMP as long as it ensures the original front façade of the Municipal</p>

Newcastle DCP 2012, Part 6.02 Heritage Conservation Areas	This proposal relates to these matters as follows:
	Building remains freestanding and any additions well setback with appropriate proportions and scale without dominating the building's streetscape presentation. The main section of the Municipal Building will be retained free of any vertical addition with only pool and gardens provided at the roof terrace.

Newcastle DCP 2012, Part 6.01 Newcastle City Centre	This proposal relates to these matters as follows:
<p>A6 - Heritage Buildings</p> <p><i>Performance criteria</i></p> <p><i>A6.1. Development conserves and enhances the cultural significance of heritage items.</i></p>	<p>The proposal has been informed by the specific CMP for Blocks 3 & 4 and ensures the established and identified cultural significance of the heritage item, the Municipal Building is conserved and enhanced. Details of the conservation and approach employed across the block for the incorporation of the building(s) is provided above.</p> <p>Originally designed by Thomas W. Silk in the Federation Free style in 1908, the Municipal building was one of the last buildings erected by the Newcastle Borough Council to revitalise the city's retail hub. However, as part of the 1980 Market Square shopping centre development, the building underwent alterations and additions that included the construction of connecting structures and the overpass along the western elevation. The upper levels of the building have also been recently modified and have retained very little original detail, having been converted into office and studio spaces.</p> <p>The proposed alterations and additions to the former Municipal Building include the retention of the significant fabric that primarily comprises the northern and the eastern facades. As discussed earlier, the internal configuration of the building was revised multiple times and did not include traces of original fabric other than parts of structural perpendicular walls to the Hunter Street front of the building. Most of the internal walls have been modified by insertion of arched openings and partition walls that make it difficult to ascertain what the configuration of the interiors were originally. The interior of the Municipal Building have been ranked as being 'Little' heritage significance in the CMP. Following investigation of the internal walls, in particular those perpendicular to the Hunter Street façade and across the central corridor, it was evident that most of the masonry walls have either been damaged or have previously been replaced then clad in their entirety with plasterboard in a crude and ad-hoc manner. The structural integrity of</p>

Newcastle DCP 2012, Part 6.01 Newcastle City Centre	This proposal relates to these matters as follows:
	<p>the building is therefore could not be verified with confidence that the masonry walls meet the current earthquake standards. Multiple close-up inspections of the subject building provided details on the existing configuration of these walls, and some of the walls have provided traces of structural issues, and therefore, it is considered necessary to reconstruct the key structural walls and slabs across the building interior to ensure structural stability while also maintaining the current main tenancy divisions and central corridor easily readable at the residential levels. As well as support the residential amenity of the landscaped pool recreation area on the roof.</p> <p>The proposed development has taken into consideration the original/current internal layout of the building. The ground floor of the building have been kept as a single large space for future retail tenancy or tenancies, and the upper floors will have a central corridor to reflect the existing layout of the Municipal Building. The utilisation of the original/current layout will further allow the occupants to understand and relate to the original configuration of the Municipal Building. The southern portion of the building has even more been modified with no clear distinction of the original layout being able to be understood. This provided flexibility to the internal layout of the units while also maintaining some level of continuity to the main structural configuration of the building from Hunter Street tenancy divisions for structural integrity.</p> <p>The most significant and prominent characteristic of the Municipal Building is the Hunter Street and Morgan Street facades featuring the distinctive Federation architectural style and detailing dating from the 1908 construction including the timber multi-paned and sash arched windows with decorative parapet skyline with central pediment depicting the name and construction date of the building. These facades will be retained and be subject to conservation works to halt any further deterioration to the face brick and rendered moulded detailing as well as the timber joinery of the windows to the upper floor levels. The rear, southern, wall of the building show structural issues and is not considered significant due to the extensions and modifications made as part of the 1980s additions. The western side wall of the building has confirmed that it was previously reconstructed most likely in the 1980s as evident from the contemporary nature of the bricks. The wall will be reconstructed matching the current curved parapet configuration. The proposed new mixed-use adaptation of the Municipal Building, which will be known as the Civic, will expose the</p>

Newcastle DCP 2012, Part 6.01 Newcastle City Centre	This proposal relates to these matters as follows:
	entire rear elevation of the building within the new market place plaza.
<p><i>Performance criteria</i></p> <p><i>A6.2. Infill development conserves and enhances the cultural significance of heritage items and their settings.</i></p>	<p>The proposed new development within Blocks 3 & 4 feature several infill buildings that are either placed behind the buildings along Hunter Street mall or slightly set back from the existing building alignment to allow for the clear identification of the new development but in the meantime expressing the street wall presentation in an appropriate manner. The new infill buildings along Newcomen and King Streets respond to their respective streetscapes and high-rise contemporary buildings on the opposite sites while also maintain views and vistas to the Cathedral and the hill.</p> <p>Creation of framed views and surprising courtyards with open to sky spaces between the new infill buildings is one of the successful design outcomes of the scheme. Materials used reflect the robust masonry tradition of the built heritage within and beyond the site while also making reference to the colourful and fine grain of the historic buildings of Newcastle. The proposed green tiles of the infill building while making reference to the art deco built heritage in this part of Newcastle, integrates well with the green garden of the Cathedral hill between the brick Municipal Building and the unique brick tower and massing of the Cathedral.</p>
<p><i>Performance criteria</i></p> <p><i>A6.3. Alteration and additions respond appropriately to heritage fabric and the items cultural significance.</i></p>	<p>The proposed alterations and additions to the heritage item (Municipal Building) have been informed by the significance ranking of the specific CMP and the condition of the fabric. The additions to the existing heritage item and contributory buildings have been considered and analysed in detail to achieve the most balanced and compatible additions for both Blocks 3 & 4 as a whole.</p> <p>The majority of the additions proposed as part of the redevelopment of Blocks 3 & 4 are located towards the rear of the heritage building and above as vertical additions. The vertical additions behind the existing heritage item and above the contributory buildings with significant facades are allowed for retention in its majority with removal of unsympathetic additions. Notwithstanding, the multi-storey addition behind the Municipal Building has been designed carefully in consideration to the balanced proportions and well setbacks to allow for the item's free-standing presentation observed along the street-long views. As detailed in the submitted architectural drawings the development reveals the heritage character of the buildings and respects their architectural configuration and façade articulation as well as skyline forms</p>

Newcastle DCP 2012, Part 6.01 Newcastle City Centre	This proposal relates to these matters as follows:
	<p>complementing them with appropriately and carefully designed contemporary additions.</p> <p>The works to the Municipal Building and Contributory Buildings (Sanitarium Building and commercial building at 105 Hunter Street) will be informed by a future Schedule of Conservation Works itemising all original fabric that will be retained and the unsympathetic later additions that will be removed. It is anticipated that a condition of consent will be made by the Council for the preparation of such a conservation specifications and schedule at the Construction Certificate stage.</p>
<p><i>Performance criteria</i></p> <p><i>A6.4. New building elements support future evolution of the heritage item</i></p>	<p>The proposed works are part of a broader body of works involved in the revitalisation of the Newcastle East End comprising of four (4) city blocks. The proposed redevelopment will support the evolution of the site into the future, ensuring continued use and ongoing conservation.</p> <p>The new work is clearly separated from the existing fabric where necessary with appropriate treatment at the junctions including shadow lines, builders' mastic etc. These treatments will be guided further at the detailed design stage by the Schedule of Conservation Works.</p>
<p><i>Performance criteria</i></p> <p><i>A6.5. Employ interpretation treatments when altering, adapting or adding to a heritage item.</i></p>	<p>Interpretation has been a paramount aspect of the proposal in the form of reflection of significant fabric to ensure clear understanding of the heritage item's exteriors and current layout and use of the former Municipal Building.</p> <p>The design of the proposed additions has gone through a rigorous process influenced by heritage advice from CPH, the CMP and the results and feedback from the Design Excellence Competition and Design Integrity Panel meetings, to best respond and interpret the significant features of the site. This can be seen in the form, scale, colour and material of the additions.</p> <p>Further interpretative treatments can be seen in the redeveloped contributory building at Block 4 that includes the early timber elevator and the pressed metal ceiling at the existing commercial building located at 105 Hunter Street. Both the elevator and the pressed metal ceilings will be salvaged and reinstated in common areas of the redeveloped buildings to allow for public appreciation and historic interpretation of the sites. Any archaeological finds could also be incorporated subsequently into the common areas of the redeveloped buildings.</p>

Newcastle DCP 2012, Part 6.01 Newcastle City Centre	This proposal relates to these matters as follows:
<p><i>Performance criteria</i></p> <p><i>A6.6. Encourage new uses for heritage buildings.</i></p>	<p>The proposed adaptive reuse of the heritage item and contributory buildings for residential apartments with ground floor reserved for retail and commercial activities will turn out as viable uses for the buildings and their facades' ongoing conservation.</p>

Newcastle DCP 2012, Part 6.01 Newcastle City Centre - Section 6.01.04 Key Precincts B. Hunter Street Mall	This proposal relates to these matters as follows:
<p><i>B2 Significant views are protected (refer to section B3)</i></p>	<p>Significant views outlined in the Blocks 3 & 4 CMP for the Newcastle East End Precinct have been considered throughout the design development phase. The proposed design seeks to retain these significant views while also enhancing them through the removal of later fabric (contemporary awnings) and the development of a central pedestrian link, which will provide improved visual access to the rear of the heritage buildings. The proposed massing has been located to ensure the significant views are not interrupted. The proposal is considered a positive outcome for the site and will ensure the retention of significant views.</p> <p>Views and vistas to the Harbour and the Cathedral nominated in Figure 6.01-24: Views and Vistas Map (Page 39 of the Newcastle DCP 2012 - Part 6.01 Newcastle City Centre) are protected under the proposal. The map nominates the view corridor along Morgan Street to Christ Church cathedral being one of the most significant views within the Newcastle CBD. This view will not be affected by the proposal. There will be few interruptions to the existing glimpses of the Cathedral's grounds from Hunter Street Mall; however, creation of Market Square opens up views from the Harbour (Wharf Road and Scott Street) to the Cathedral Hill.</p>
<p><i>B3 Building form integrates with existing heritage character and retains contributory buildings</i></p>	<p>The proposed redevelopment design is considered sympathetic and compatible with the existing heritage character of Blocks 3 & 4 and overall precinct. It not only seeks to celebrate this heritage character, but also is considered to sinuously integrate with the existing buildings, both heritage and contributory. Individual studies of the existing built fabric of Blocks 3 & 4 have been undertaken and different treatments have been applied to the new building developments.</p>
<p><i>B4 Hunter Street Mall is a pedestrian and vehicular thoroughfare and a place of activity</i></p>	<p>The proposal does not involve any changes to the Hunter Street Mall area, beyond improving the landscaping to the public domain as detailed in the Landscape Statement and Plan prepared by Aspect.</p>

Newcastle DCP 2012, Part 6.01 Newcastle City Centre - Section 6.01.04 Key Precincts B. Hunter Street Mall	This proposal relates to these matters as follows:
	<p>It seeks to encourage people to use the area more, through improving the amenity and enhancing development of the site. The works therefore are compliant with this clause.</p> <p>It is understood that the Council has plans to redevelop its land and road reserve in Hunter Street.</p>

5.2. Conservation Management Plan Policies (Final Amended - October 2024)

The following table assesses the proposal in relation to relevant policies from the Newcastle East End - Blocks 3 & 4 CMP. Note: there are many specific policies pertaining to the subject sites that relate to specific conservation works that need to be undertaken to the buildings with Blocks 3 & 4. Part of the proposed redevelopment conservation works will be undertaken to the buildings and CPH will be preparing a Schedule of Conservation Works accordingly. As such, only general comments have been provided below to indicate whether the works will comply with the specific CMP policies. **Please note the October 2024 amendment did not make any changes to the Conservation Policies; therefore, no changes to the impact assessment is required.**

Conservation Policies	This proposal relates to these matters as follows:
<i>Policy 3. The Statement of Significance and Schedule of Significant Elements (Sections 8.4, 8.6.2 and 8.6.3), should be adopted as a basis for future decision making, planning and work on the site.</i>	As above, the Statement of Significance and significance ranking identified in the Newcastle East End CMP have been used throughout the design development phase and consulted during production of this report. The proposed works therefore directly respond to the requirements of the site laid out in the CMP and detailed previously in this HIS.
<i>Policy 4. It should be a standard practice for all works to be carried out to the site in accordance with this CMP policies and recommendations.</i>	All work associated with the redevelopment of Blocks 3 & 4 have been guided by this policy and general principles & policies of the CMP.
<i>Policy 6: All future actions or works including reconstruction, restoration, preservation, maintenance, repair, new works and uses should be guided by the principles of the Burra Charter and employ the recommended processes of investigation, assessment and management.</i>	The principles of the Burra Charter have been employed throughout the design development phase and have formed the basis of the design principles developed for Blocks 3 & 4 in line with Blocks 1 & 2 and the entire Newcastle East End Precinct. In addition, the recommended processes for investigation, assessment and management have been employed to ensure preservation, revealing and celebration of significant fabric.
<i>Policy 7: The definitions of particular conservation processes also act as general policies guiding the treatment of fabric. Fabric grading should guide the conservation of significant elements and fabric of the place while the ranking of a specific element of fabric carries with it a general policy for its treatment.</i>	The significant ranking detailed in the CMP was consulted throughout the design development phase and the proposed design ensure fabric ranked as either exceptional or high is retained where possible and where structural integrity of the fabric in further investigation revealed further deterioration than identified in the CMP. Fabric considered as of moderate or little significance will be removed in some

Conservation Policies	This proposal relates to these matters as follows:
	areas, to make way for a more sympathetic development that will highlight the more significant fabric located within the site.
<i>Policy 9: All surviving original building fabric and other fabric identified as being of Exceptional and High significance should be conserved and interpreted as part of the future use and development of the site.</i>	As above, any fabric ranked as exceptional or high significance will be retained and interpreted where necessary.
<p><i>Policy 13: Proposals involving physical intervention on the building fabric graded of Exceptional, High and Moderate significance should be accompanied by a Heritage Impact Statement (HIS) that assesses the likely impacts of the proposed works in regards to Conservation Policies of this CMP and relevant statutory controls.</i></p> <p><i>Further historical research should be carried out as part of continued efforts to learn as much as possible about the original appearance and finishes of various parts of the site. The findings of such research may possibly inform future conservation works to the Newcastle East End Precinct.</i></p>	<p>This HIS has been prepared to address the proposed development as it involves intervention into fabric ranked as exceptional, high and moderate significance. As detailed above, the intervention works that will be undertaken to fabric ranked as either exceptional or high significance involves conservation works to enable incorporation under new mixed use including residential uses while maintaining the existing and historic retail and commercial uses.</p> <p>This section of the report addresses the relevant policies in the CMP in relation to the proposed development.</p> <p>At this stage, no further historical research has been undertaken as the Blocks 3 & 4 CMP has provided the necessary level of detail to guide the proposed development.</p>
<p><i>Policy 14: Identify and study the original awnings of the heritage items and contributory items within the Newcastle East End Precinct. Retain and make good original awnings where possible. Where no original awning is present, allow for contemporary interpretation of original awnings for heritage items and contributory items as reinstatement of the original awnings, although photographic evidence may exist, may not be achievable due to statutory constraints.</i></p> <p><i>Policy 15: Establish at least two modest and simple awning designs with reference to traditional awnings designs and dimensions for non-heritage buildings within the Precinct.</i></p> <p><i>Policy 16: Create a continuing awning network throughout the Precinct for amenity and weather protection and for the enjoyment of pedestrians</i></p>	An awning study has been undertaken by CPH of the existing and original awning applied to the buildings located within Blocks 1 & 2 previously and will also be applied for the remainder of the Newcastle East End Precinct. All existing awnings are essentially later fabric that are not considered of heritage value. Therefore, a new awning design will be installed that is an interpretation of the original awning(s) if historical or physical evidence can be found. In most of the cases a new modern and complementary awning will be applied.
<i>Policy 17: Give particular attention to the heritage items (as well as the items in the vicinity) within the study area in order to understand their individual distinctive</i>	Consideration of the principles detailed in this policy is addressed in the heritage impact assessment in relation to the DCP controls detailed in Section 5.1.2 above.

Conservation Policies	This proposal relates to these matters as follows:
<i>architectural characteristics and detailing for interpretation within the new building design including setbacks, solid to void relationships and proportions, scale, and vertical or horizontal façade emphasis. Refer to significance ranking of Municipal Building provided in Appendix F.</i>	
<i>Policy 18: Follow up the existing predominant setbacks - although it is desirable in general to have setbacks from the facades, depending on the particular style and detailing of a heritage item or a contributory building, in some cases no setbacks from the building façade may provide a better outcome. Setbacks to upper levels should be given consideration in the first instance in order to understand if such setbacks would provide the appropriate transition between adjacent buildings of different scales or the building that the vertical addition is proposed.</i>	As above, see section 5.1.2 for more information.
<i>Policy 19: Celebrate and apply the traditional prominent corner treatment/ accent at the key corners of the study area, in particular, where it responds and communicate with an existing prominent corner accent on the opposite corner to maintain the rhythm of the existing urban context.</i>	As above, see section 5.1.2 for more information.
<i>Policy 20: Make reference to the materials, horizontal/vertical façade articulation of the adjoining building or the building where vertical addition is proposed.</i>	As above, see section 5.1.2 for more information.
<i>Policy 21: Consider the façade fenestration of the heritage items and the contributory buildings associated with the new infill building(s) and apply simple and sympathetic fenestration but do not mimic the historic character of the items</i>	As above, see section 5.1.2 for more information.
<i>Policy 22: Maintain the streetscape rhythm and subdivision pattern of the study area.</i>	<p>The proposal seeks to enhance the streetscape appearance and rhythm of Blocks 3 & 4 through the retention of the heritage and contributory buildings in the block, construction of new sympathetic infill buildings and additions that reflect this existing rhythm and through application of consistent singular bays/lot layout on their façade treatments and fenestration.</p> <p>In addition, the proposal does not seek to make any changes to the overall subdivision pattern of the study area along the street edges. The late 19th to early 20th century subdivision pattern will still be clearly</p>

Conservation Policies	This proposal relates to these matters as follows:
	discernible, particularly from within the streetscape of Hunter, Thorne and Newcomen Streets.
<i>Policy 23: Aim to maintain, preserve and restore the architectural detailing and original/early fabric of the items</i>	As above, the proposed works involve the extension and/or conservation of the existing heritage and contributory buildings located on the site. A Schedule of Conservation Works will be produced specifically to guide the works within Blocks 3 & 4 and to ensure the heritage of the site is maintained, preserved and restored.
<i>Policy 24: Reinstatement of missing elements, architectural detailing, and known earlier materials/ finishes both externally and internally is desirable and preferred to ensure the heritage items and contributory buildings maintain their integrity and historic character within the Newcastle City Centre Heritage Conservation Area as a powerful reminder of the city's past, its economic and social history.</i>	<p>All heritage and contributory buildings, although they will have to be modified and adapted to different forms, will maintain their overall external integrity and contribution to the HCA as much as possible depending on the structural condition of the walls that will need to be further investigated as part of a schedule of conservation works.</p> <p>No significant architectural detailing is missing from the significant facades of the heritage and contributory buildings within Blocks 3 & 4 that require retention.</p>
<i>Policy 25: Ensure the scale and proportions of the vertical addition(s) relate to the original building in a sympathetic manner and provide appropriate transition from the new high-rise building wing(s) to the existing lower scale building(s).</i>	As previously detailed, the proposed vertical additions have been designed with consideration to the existing heritage fabric of Blocks 3 & 4, and have been sited within certain areas to minimise their impact and to ensure they complement the existing buildings.
<i>Policy 26: Ensure the key view corridors and vistas identified in the SJB Architects Visual Analysis Report and the CMP are maintained and preserved. This is particularly important for the views to the Cathedral and its dominance in the city's skyline.</i>	The key view corridors and vistas identified in the CMP and the SJB Architects Visual Analysis report submitted with the Staged DA for the entire NEE Precinct have been considered throughout the design development phase for Blocks 3 & 4. The proposed works will improve some key view corridors while also ensuring no or minimal adverse impact on surrounding important views, including to the Cathedral and city skyline.
<i>Policy 27: Maintain the established street-wall along the streetscapes and relate to the human scale of the existing built form that follows the underlying natural topography of the area.</i>	The existing building alignments, which are varied across the site, have been maintained and employed within the proposed new design in addition to consideration of the topography of the site. New building developments within the site will be located along a similar building alignment with varying mass and scale, making use of the natural topography of the site and ensuring the primary facades of the heritage and contributory buildings are not interrupted and clearly visible from within the streetscape.
<i>Policy 28: Consider the intact internal layout, detailing and finishes of the buildings that are proposed for adaptive reuse and ensure</i>	Both heritage item and contributory buildings within Blocks 3 & 4 have, as detailed earlier, been heavily modified internally numerous times over the years and as such, there is very little evidence remaining of their original layout allowing limited opportunity to retain

Conservation Policies	This proposal relates to these matters as follows:
<i>they remain readable/recognisable to future users/occupiers.</i>	<p>their original/current layout. The structural walls within the Municipal Building with arched openings provide some historic evidence of the original layout and hence, will be reflected as a part of the proposed redevelopment.</p> <p>Where original fabric is present, for example wall finishes and pressed metal ceiling decoration (in one of the contributory buildings), these will be salvaged, reused and conserved. The heritage item will have an increased re-exposure to a wider public as part of its mixed residential reuse and will be celebrated with its historic finishes and detailing, continuing its historical role as a public place into the future in a compatible form.</p>
<i>Policy 29: Compliment the materials, form, colours, building techniques, details, and the traditional hierarchy in the use of materials and colours of the historic buildings.</i>	As previously detailed, an analysis of the materiality of the heritage items/ contributory buildings located within the site has been undertaken in order to ensure the proposed redevelopment designs complements the existing heritage character of the site and HCA generally.
<i>Policy 31: Reduce the scale and dominance of the infill buildings/ vertical additions by breaking long walls into bays or arranging openings in the walls so that their size and shape reflect the structure and openings of the existing buildings within the site and immediate vicinity.</i>	Consideration of this policy has been given in the proposed designs for the new residential buildings. Each building directly responds to the heritage building adjacent or below, and references their size, shape and detailing to creating a connection between the old and new. This has been achieved by following the vertical alignments of the fenestration and use of contemporary, but complementary materials and proportions.
<i>Policy 32: The lack of repetitive building form in the study area and the streetscapes provides more flexibility to the design of the infill buildings in different form than those existing historic buildings. Notwithstanding, infill buildings should respond to, or reinforce existing ridge or parapet lines, roof slopes and other features such as string courses, cornices, shape of openings, and projecting bays to name a few.</i>	As above, the preliminary design development phase of this project has given consideration to the existing character of the buildings located in the site and proposed design directly responds to this. At the same time the proposal presents a series of distinct building designs that are considered being of architectural and aesthetic excellence, and are the result of the full and through process employed during the Design Excellence Competition.
Policy 33: Ensure adaptive reuse of the Municipal Building and incorporation of conservation and restoration works as part of the design. Allow for continuing public access to the building and increase integration with the public domain areas. Ensure exposure of original remnant fabric and elements within the new adaptive reuse and appreciation by wider public.	As detailed above, the former Municipal Building will be integrated into the overall laneway and central court ensuring an increased reinstated public access to the building as a whole while the ground floor retained as a retail/commercial space(s) for public access. A Schedule of conservation Works will be prepared to investigate the areas of original internal fabric for exposure and protection in its new mixed residential use. The original remnant fabric will be retained and areas that have never been exposed to the public will be exposed for appreciation.

Conservation Policies	This proposal relates to these matters as follows:
<i>Policy 34: A regular maintenance program that will guide the future maintenance of the site should be followed.</i>	An ongoing maintenance plan has been provided as an attachment to the CMP and will be guiding the regular maintenance of historic fabric.
<i>Policy 35: Elements identified in Sections 8.6.2 and 8.6.3 as being of Exceptional and High significance should be conserved. Any future works affecting these components should respect and be visually compatible with their general architectural and aesthetic character.</i>	As noted earlier, all elements of exceptional and high significance will be retained and conserved. Where the structural condition of the walls revealed as being of unstable and fragile following the detailed fabric investigation as part of the schedule of conservation works, partial demolition and reconstruction may occur to maintain the structural stability. This will be guided by the specifications and methodology of the future schedule of conservation works.
<i>Policy 36: Fabric assessed as having Exceptional and High significance should be retained in situ and conserved. Any adaptive reuse necessary to ensure the continued use of the place, or change, removal or obscuring of significant fabric should be minimised and all future changes should be reversible as far as practicable.</i>	As detailed throughout this report the design has had careful consideration of the heritage aspects of the Blocks 3 & 4 to ensure retention and conservation of fabric of exceptional and high significance where possible and where condition of the fabric allows. The proposed design scheme has carefully considered the existing condition of the fabric through further investigation by the expert consultants of the project team, which revealed that the structural walls of the Municipal Building perpendicular to the Hunter Street façade are unstable and several times modified in an ad-hoc manner, and as such the proposal is compatible with this policy.
<i>Policy 37: Fabric evaluated as having Moderate significance may be retained or removed, provided that removal does not cause damage to fabric of Exceptional or High significance.</i> <i>Elements that have been identified as being intrusive in Section 8.6.2 and 8.6.3 of this CMP should be removed or modified to reduce the intrusion.</i>	See response to Policy 13 for more information.
<i>Policy 38: Damage to significant fabric should be repaired wherever practicable. Any significant early building fabric that cannot be successfully repaired may be reconstructed or re-interpreted in the design of replacement items. New replacement elements should be based upon the design and configuration of the original element and following the advice of qualified heritage consultants.</i>	The proposal does not seek to reconstruct early building fabric with the exception of the western wall of the Municipal Building due to structure instability as well as the internal upper floors' perpendicular walls where possible. The proposal will repair the exterior fabric where required and in accordance with the future Schedule of Conservation Works. Should the future investigation during the preparation of the Schedule of Conservation Works reveals physical evidence that could be supported by documentary evidence, reinstatement may be given consideration.
<i>Policy 39: The form of the Newcastle East End Precinct should be respected and not compromised by future unsympathetic alterations or modifications.</i>	While the proposed works that are the subject of this report pertain to Blocks 3 & 4 within the Precinct, a holistic approach is being applied to the entire NEE Precinct. The design principles employed within

Conservation Policies	This proposal relates to these matters as follows:
	Blocks 1 & 2 are similar, and ensures any other alterations or modifications are sympathetic to both the individual sites and the Precinct as a whole. The design team (SJB, DBJ and Curious Practice) takes advantage of their experience and knowledge of both the concept design and Stage 1 of the NEE Precinct project, the SJB team provides a much considered and compatible approach to the redevelopment of Stages 3 & 4.
<i>Policy 40: The approach to the conservation of individual built elements within the subject site should be in accordance with their relative significance and individual ranking, and be one of minimal intervention, with the philosophy of 'do as much as necessary, but as little as possible' being a primary consideration</i>	As previously identified, the conservation of significant fabric located within the site gives consideration to the elements of Exceptional and High ranking, as identified within the CMP. Only works required will be undertaken to the buildings in order to maintain structural integrity of the structures within their new mixed use configuration.
<i>Policy 41: The adaptation and use of spaces must not conflict with or be detrimental to the cultural significance of the structures within the site as well as the site as a whole.</i>	The commercial and/or public-use origins of the buildings located on the site will still be readily discernible externally and internally. The former use of the Municipal Building will be reflected by the proposed retail and commercial use within the ground floor.
<i>Policy 42: New work to the site should be readily identifiable as new work but simultaneously sympathetic to the cultural significance of significant fabric and is to be of high quality to complement the level of aesthetic quality of the existing buildings.</i>	As above, while the proposed new building developments directly respond to the existing character of the heritage buildings located within the block, they will clearly be identifiable as new development. In addition, the designs have been devised through the Design Excellence Competition in August 2022, and further extensive consultation process that followed as part of a series of Design Integrity Panel meetings between architects and consultants, to ensure the designs are of a high quality that complement the historic character of the area.
<i>Policy 43: Should new services or alterations to the existing services be required, these services should be installed with as little impact upon significant fabric as possible and all works should be reversible. With any proposed changes to services, existing service lines and spaces should be utilised, and where possible these should occur in areas that have already been altered.</i>	As most of the interiors will be essentially new, all new services will have limited to no impact on the retained fabric of the buildings. The proposed development naturally allows for the provision substations under the relevant standards. The proposed substations are located within the new parts of the buildings. An infrastructure Services Report has been prepared and will accompany the Stage 3 & 4 DA documentation. For a more detailed information on the proposed new services reference should be made to that report.
<i>Policy 44: Any proposals for alterations must take into account the impact on the identified significant aspects of the buildings and must</i>	Addressed above.

Conservation Policies	This proposal relates to these matters as follows:
<i>not compromise the architectural and aesthetic integrity of significant components.</i>	
<i>Policy 46: The site's landscape features should be conserved through regular maintenance operations. Re-landscaping is acceptable provided it is appropriate to the area and does not damage building fabric (e.g. the activity of tree roots, trunks and limbs, the raising of soil levels, and increased moisture and salts due to watering) or significant views.</i>	The subject sites do not contain any landscaping of heritage value and therefore the proposed works will not involve the removal of any significant landscaping requiring conservation. Furthermore, the proposed landscaped court and laneway will, in fact, enhance the landscape setting of the two blocks.
<p><i>Policy 47: New plantings shall be sympathetic to the nature and maturity of the existing trees and plant material on site, the buildings, use of the buildings and the identified views and vistas. Existing plantings and trees should be documented by an appropriately qualified landscape specialist to incorporate their significance and conditions to inform future maintenance and management.</i></p> <p><i>While the various requirements of each block should be considered, a holistic approach to the landscaping of the entire site should also be undertaken and incorporated in a landscape management plan.</i></p>	<p>The proposed new publicly accessible laneway, which links Blocks 3 & 4 to the previously approved Blocks 1 & 2, and public domain works have taken into consideration the surrounding built character and the existing landscaping and streetscape.</p> <p>The landscape and streetscape design for Blocks 3 & 4 follows the principles of the Staged DA, which have informed the landscaping across the precinct to ensure continuity.</p>
<i>Policy 48: A Schedule of Conservation Works and qualified consultants' advice should guide the proposed conservation works prior to the site redevelopment.</i>	As outlined above, a Schedule of Conservation Works will be produced by CPH to guide the future conservation works to the heritage and contributory buildings located within Blocks 3 & 4.
<i>Policy 49: As the commercial use of the building is not considered feasible, adaptive reuse of the former Municipal Building for residential purposes is acceptable</i>	The new mixed reuse of Municipal Building for residential purposes will be feasible and will result in exposing most of the significant fabric and the remaining original layout.
<i>Policy 50: Retain and conserve the existing Hunter and Morgan Street facades and at least 4 metre back inside the building to pick up arched openings (in lot 31). Any changes proposed to the eastern façade should pay respect to remnant original fabric and seek to conserve this fabric where possible. Remove the graffiti to the Morgan Street façade. Removal of southern façade for integrated design of infill buildings is acceptable. Reference should be made to the significance ranking plans (Appendix F) for detailed original fabric surviving within the building. The building has suffered considerably from later alterations and wall</i>	The design process for the proposed redevelopment considered the streetscape presence of the buildings that will be retained, particularly along Hunter Street and at the corner of Morgan Street, where the existing low-scale and consistent roof forms will be retained with no modifications. All new development and vertical additions above have been set back where the new addition will cantilever above the building aligning with its façade but separated by the height of the setback podium over the building. The new additions will reference the form, character and materiality of the subject heritage item, while also ensuring they are neutral and do not detract. Through the consultative design process, design principles have been employed that strike a balance between enhancing

Conservation Policies	This proposal relates to these matters as follows:
<i>cladding making it difficult to ascertain the original layout with essentially only the structural elements being surviving. Structural engineer's recommendations must be sought for any future changes to maintain integrity of the building.</i>	the heritage fabric of the site, while creating a contemporary and functional development. The proposed design and redevelopment at Municipal Building have sought Structural engineer's recommendations to maintain integrity of the building (see Appendix B).
<i>Policy 51: Replacement of the existing Hunter and Morgan Street awnings is considered appropriate as they are of later fabric and not considered sympathetic to the existing building. Any replacement awning should be a contemporary interpretation of the original building awning in line with the awning strategy policies detailed in Section 10.5.1.</i>	The proposed works seek to remove elements of the structure where possible that are considered unsympathetic to the heritage significance of the former Municipal Building that includes the existing Hunter and Morgan Streets awnings. The awning is later addition and therefore is not considered of significance and are unsympathetic to the heritage significance of the heritage item. A balanced approach to heritage conservation and reuse have been adopted across the site and includes replacement of these contemporary and non-significant awning with a new awning that interprets the original building awning.
<i>Policy 52: The external form and streetscape appearance of buildings identified in the TKD report as being of contributory significance and explored in this report should be retained and conserved. Any future works or additions should keep this in mind and not adversely impact on the external contributory character of the buildings. Respect the original architectural detailing and finishes of the buildings. Ensure no air-conditioning units attached to the exterior of the windows or the facades.</i>	The contributory buildings have been essentially retained in the form of structural elements and façades only for the Hunter Street contributory buildings with appropriate new additions that do not adversely impact or detract from the character of the respective building. There will be no new intrusive elements on the facades.
<i>Police 53: Internal changes are considered acceptable, provided the works are devised in consultation with a heritage architect and ensure retention of contributory values of the building. Where original or early fabric remain every effort should be made for their retention and use as part of the new layout of the respective building</i>	The interiors of the contributory buildings largely have been modified and deteriorated to a degree that the original layout of respective building is hardly readable. Therefore, adequate modifications to allow for legitimate interpretation of their residential layout remain within the new layout for example by partitioning and partial retention of the existing walls. The works respect the existing changed conditions of the buildings.
<i>105 Hunter Street</i> <i>Policy 54: The façade with faceted bay windows is to be retained, and lift and lift shaft with associated external moulded detailing are original elements and are to be retained (stairs are not required to be kept).</i> <i>Also, retention of the existing plaster/pressed metal ceilings in situ as</i>	As noted earlier, the original façade with faceted bay windows at the commercial building will be retained in their existing envelope, form and further enhanced through conservation and reinstatement of missing elements, where required based on physical and documentary evidence. The interior of the commercial building still acquires some original pressed metal ceiling that will be repaired and will either be salvaged and will be reinstalled in common areas of the new development

Conservation Policies	This proposal relates to these matters as follows:
<p><i>much as possible (confirm if they are plaster or pressed metal) should be explored.</i></p> <p><i>If ceilings are pressed metal, retain and reuse in the new building. The lift shaft is almost at the centre of the lot with only one room and landing depth to the Hunter Street façade. It is recommended that the floors up to the lift shaft to be kept so that the ceilings could also be kept and integrity of the structure is not affected.</i></p>	<p>depending on the quantity of the salvaged ceiling panels. The proposal also includes retention of the original timber elevator and to be relocated in common areas of the redeveloped building as an element of interpretation.</p>
<p>111 Hunter Street</p> <p><i>Policy 55: Retain the prominent corner presence of the building and Morgan and Hunter Street facades. Remove the air conditioning unit externally located to the corner window at first floor level.</i></p> <p><i>Policy 56: Retain the "Sanitarium Building" sign to the Hunter Street façade as it provides the passer-by with an indication of the historic use of the building. Heritage interpretation could also be externally applied to provide more information about this historic use (and other relevant information).</i></p> <p><i>Policy 57: While a new shopfront below the awning is considered acceptable from a heritage perspective, reinstatement of the original splayed corner entrance should be considered to improve the appearance of the façade below the awning and the connection between the facades above the awning.</i></p>	<p>As noted earlier within the Newcastle DCP controls, the prominent facades and corners along Hunter and Morgan Street will be retained as a part of the new development, with the later additions well setback from the building line. All intrusive elements, including services, fittings and contemporary awnings will be either removed or replaced with more sympathetic elements.</p> <p>The proposed design of the building has taken into consideration the historical appearance and functioning of the building and has allowed for reinstatement of the original splayed corner entrance to improve the appearance of the façade below the awning and the connection between the facades above the awning.</p>
<p>All other buildings</p> <p><i>Policy 58: All other buildings are able to be removed; however, some items are to be salvaged and sold to second-hand conservation warehouse(s) – This particularly relates to the leadlight glazed windows of the flat building at 1 Morgan Street and Blackall House.</i></p> <p><i>Policy 59: A Salvage Strategy should be prepared by suitably qualified heritage architect to identify what can be salvaged and recycled.</i></p>	<p>All future works to the buildings within Blocks 3 & 4 will be guided by advice of the suitably qualified heritage architect. Prior to the development, a Salvage Strategy & Methodology will be prepared by suitably qualified heritage architect to identify what can be salvaged and recycled, especially the leadlight glazed windows of the flat building at 1 Morgan Street and Blackall House.</p>
<p><i>Policy 60: The Newcastle East End Precinct can accommodate several range of adaptive reuses where retention of or continuation of the original uses are no longer exist or viable, such as the former Municipal Building in Block 3. Any new uses of the buildings</i></p>	<p>The recommendations of this policy have been addressed previously under various controls and policies above.</p> <p>The proposed mixed use across Blocks 3 & 4 are consistent with the recommendations outlined in the Staged DA concept and the CMP. The design process</p>

Conservation Policies	This proposal relates to these matters as follows:
<i>should maintain significant fabric, be respectful and enhance the respective building's identified and assessed heritage significance. New development of the buildings should be in line with the long-term management of their heritage significance. Consider the recommended uses outlined in the Staged DA concept (2017/00171) and this CMP. Mixed retail and residential uses will ensure the active use of the area as a social and historic hub of the city centre.</i>	has been informed by the Design Excellence Competition in accordance with the NLEP 2012.
<i>Policy 61: The planning, design and supervision of any changes to the building fabric or any future development associated with the place should be undertaken in conjunction with persons having relevant expertise and experience in building conservation projects and under the supervision of a suitably qualified heritage architect.</i>	CPH, who is the author of the CMP, has been involved from the Design Excellence Competition stage of the project and provided the necessary expertise for further development of the design in line with this policy.
<i>Policy 62: The existing statutory heritage listings on the Newcastle Local Environmental Plan provide necessary protection and should be retained.</i>	Refer to the responses under the LEP and DCP sections (Section 5.1.1 and 5.1.2) above.
<i>Policy 63: The policies set out in this document should be applied irrespective of the use to which the building is put. Before any major works are undertaken, review all available documentary and physical evidence in order to guide effective conservation work.</i>	The proposal is consistent with this policy.
<i>Policy 64: The planning, design and supervision of any changes to the building fabric or any future development associated with the place should be undertaken in conjunction with persons having relevant expertise and experience in building conservation projects and under the supervision of a suitably qualified heritage architect.</i> <i>The height of any new structure located on the site are to be designed with respect to the topography of the site and height of existing buildings considered of Exceptional, High and Moderate significance. The height of new building may exceed that of the existing significant buildings but should be designed in a manner that reflects and relates to the significant horizontal elements and scale of the respective heritage building for compatible outcome and to prevent an</i>	As detailed earlier, the proposal is consistent with this policy.

Conservation Policies	This proposal relates to these matters as follows:
<i>adverse impact on their setting, views and dominance</i>	
<i>Policy 65: Significant views to the heritage and contributory buildings along Hunter Street, should remain uninterrupted by other developments.</i>	This matter has been responded to above.
<i>Policy 66: The visual setting of the site and its relationship with the Christ Church Cathedral, Hunter Street, King Street and the CBD generally shall be maintained and enhanced. Any works carried out to the Newcastle East End Precinct must not adversely affect the setting and this relationship. The spatial relationship of the study area shall remain uninterrupted by any other development.</i>	This view has been one of the most important considerations of the proposed design and have placed the additions to ensure minimal impact on the existing views while also providing a new view and pedestrian corridor from the harbourside to the Cathedral.
<i>Policy 67: Development of surrounding areas shall give consideration to the significance of the views to and from the buildings located within the Newcastle East End Precinct. Any new works shall take into consideration the scale, form, colour, texture and materials of the study area and the main buildings located within it.</i>	This matter has been discussed above. The proposed design has given careful consideration to the buildings within and surrounding Blocks 3 & 4.
<i>Policy 71: Archival Recordings should be prepared for any change to fabric graded as of Exceptional and High significance. Copies of this documentation should be kept in at least two repositories including the Newcastle City Council's archives or the Local History section of the Library. Recordings before and during major works should be conducted in accordance with the guidelines of the Heritage NSW publication (2001, revised 2004, 2006) Photographic Recording of Heritage Items Using Film and Digital Capture. The recording of change to fabric of Moderate significance, or minor change, should not be excessively detailed, but should be consistent with the significance of the adjoining fabric likely to be affected, and the nature of the changes.</i>	It is anticipated that the future conditions of consent issued by Council as part of the approval for the proposed works will require the undertaking of an Archival Recording. This will be undertaken prior to the commencement of works and in accordance with this policy.
<i>Policy 75: In the event of unexpected archaeological find the STOP WORK provisions of the NSW Heritage Act, 1977 apply. The works must stop immediately around the find and a suitably qualified archaeologist be contacted for appropriate actions and management.</i>	As previously detailed, during the works the stipulations of this policy will be employed as required.

Conservation Policies	This proposal relates to these matters as follows:
<p><i>In the event that any Aboriginal objects are identified within the area of works, works within the immediate vicinity of the Aboriginal object should cease and Heritage NSW should be contacted so that appropriate management strategies can be identified.</i></p> <p><i>In the unlikely event that a potential burial site or potential human skeletal material is exposed, work in the vicinity of the remains is to halt immediately to allow assessment and management. If the remains are suspected to be human, it will be necessary to contact local police and the Heritage NSW to determine an appropriate course of action.</i></p>	
<i>Policies 76-90: Maintenance and Repairs</i>	As previously detailed, the winning design of the proposed development has been further detailed in consultation with CPH in order to ensure the best possible outcome for the buildings and the site in general. CPH will prepare a Schedule of Conservation Works to guide the proposed works and advise on conservation required. It will be prepared in accordance with these relevant policies from the CMP.
<i>Policies 91-94: Interpretation and Signage</i>	It is anticipated that a condition of consent will be made for the subject development in line with the Stages 1 & 2 of the Newcastle East End Precinct interpretation strategies to ensure heritage interpretation is integrated into the development in addition to that of the physical fabric interpretation applied throughout the design development and described in this report.

5.3. 'Statements of Heritage Impact' (Heritage Manual Guidelines)

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons.

- The proposed integration of the heritage and contributory buildings as a mixed use and redevelopment of Blocks 3 & 4 is of a landmark quality, designed by a team of award winning Architectural firms with support of an experienced team of project consultants that collectively have a considerable experience in heritage sites. The resultant design therefore aims to renew and reactivate this area of the Hunter Street Mall, while also enhancing the appearance and functionality of the existing heritage and contributory items.
- The proposed works, which are consistent with the winning scheme of the Design Excellence Competition, have taken into consideration the heritage aspects of these buildings, previous heritage documentation and approved schemes including the 2015 TKD *Conservation Guidelines* accompanied the Staged DA, the conservation policies of the 2022 CMP for Blocks 3 & 4, and hence include the retention of the significant facades to further assist in maintaining the streetscape rhythm and subdivision pattern of the development site.

- The proposed development has further taken into consideration individual distinctive architectural characteristics and detailing, including setbacks, solid-to-void relationships and proportions, scale, and vertical or horizontal façade emphasis of these buildings, so that the new designs of the additions and infill buildings enhance the historic articulations within the Hunter Street streetscape and across Blocks 3 & 4 of the NEE development. The Municipal Building retained as a stand-alone building with no vertical additions above while it has been integrated into the development providing for residential purposes to the upper floors and retail tenancies on the ground floor as it has been used until recently.
- The proposed new buildings will provide an opportunity to create additional residential accommodation and rejuvenate the Newcastle city centre as evident from the success of the completed NEE Stage 1 project.

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts.

- There are departures from the recommended level of fabric retention; however, further investigations into the integrity of the interiors and structural conditions indicated that the retention of the interiors would not be possible without considerable fabric replacement and structural intervention that would render the interiors being largely new fabric and not suitable for functional or feasible adaptive reuses.
- The proposed removal of fabric is limited to the interiors of the Municipal Building, the former Sanitarium Building, and the commercial building at 105 Hunter Street. The new layout will focus on the reinterpretation of the original internal planning of the significant spaces in particular the upper levels of the Municipal Building. The proposal also generates an opportunity to salvage and reuse the demolished materials within the landscape and public domain for interpretive purposes.
- All structural protection and methodology are guided by the project Structural Engineers and supported by the author as the Principal Heritage Consultant for the project. Necessary photographic archival recordings will be undertaken prior to the commencement of development works, which is also anticipated to be made as a condition of consent by the Council. Similar to NEE Stages 1 and 2, the redevelopment of Blocks 3 and 4 aim to rejuvenate the city centre in a sympathetic and compatible manner to create a cohesive and consistent architectural language across NEE precinct. The successful outcome of the award winning and critically acclaimed NEE Stages 1 (completed) and 2 (under construction) are testimony to the future outcome and integration of Stages 3 and 4.

The following sympathetic solutions have been considered and discounted for the following reasons;

- Retention of the internal structural elements of the Municipal Building and the other contributory buildings have been considered for adequate adaptive reuse of these buildings; however, the poor and significantly deteriorated fabric and condition of the interiors resulted in most of the interiors to be demolished and where possible reconstructed in the form of reflecting a modern, ADG compliant and the current layout to suit the proposed mixed residential uses.

6. CONCLUSION AND RECOMMENDATIONS

In conclusion, it is considered by City Plan Heritage that the proposed redevelopment works, involving the change of use and associated alterations and additions to the significant heritage and contributory buildings within Blocks 3 and 4 of the Newcastle East End Precinct will result in an acceptable heritage outcome for the heritage and contributory significance of the subject sites, the Newcastle City Centre HCA and nearby heritage items. The proposed works aim to reactivate the subject blocks along Hunter Street Mall while ensuring the retention of the most significant heritage fabric and the appreciation of the site's history.

The proposed works, which are consistent with the winning scheme of the Design Excellence Competition and outcomes of a series of Design Integrity Panel meetings, have taken into consideration the heritage aspects of these buildings, previous heritage documentation and approved schemes including the 2015 TKD *Conservation Guidelines* accompanied the Staged DA, the conservation policies of the 2022 CMP for Blocks 3 & 4, and hence include the retention of the significant facades to further assist in maintaining the streetscape rhythm and subdivision pattern of the development site. While there are departures from the recommended level of fabric retention, further investigations into the integrity of the interiors and structural conditions indicated that the retention of the interiors would not be possible without considerable fabric replacement and structural intervention that would render the interiors being largely new fabric and not suitable for functional or feasible adaptive reuses.

The proposed development has further taken into consideration individual distinctive architectural characteristics and detailing, including setbacks, solid-to-void relationships and proportions, scale, and vertical or horizontal façade emphasis of these buildings, so that the new design enhances the historic articulations within the Hunter Street streetscape.

Similar to NEE Stages 1 and 2 the redevelopment of Blocks 3 and 4 aim to rejuvenate the city centre through sympathetic infill buildings and in a compatible manner to create a cohesive and consistent architectural language across NEE precinct. The successful outcome of the NEE Stages 1 (completed) and 2 (under construction) are testimony to the future outcome and integration of Stages 3 and 4 into the Newcastle city centre.

In addition, the proposed change of use will provide an ongoing active use for the site with a broad and changing clientele. This will further enhance and assist in helping to expand the appreciation of the site to a wider audience while ensure the necessary future conservation of the retained fabric across the site.

While the Blackall Building at 22 Newcomen Street is ranked as being of contributory building at a lower end it has already been approved for demolition under the previously mentioned both Staged Development Applications DA 2015/10182 and DA 2017/00701 for the NEE Precinct. The demolition permits the link from Laing to Newcomen Streets and completes the laneway network that runs parallel to Hunter Street. The approved Conservation Guidelines plan indicating general actions for heritage buildings included in the Statement of Heritage Impact by TKD dated 2015 and accompanied the subject Staged DA 2015/10182 is included as an Attachment to this HIS for reference. Demolition of Blackall House proposal was the result of the creation of an open space/pedestrian access to connect all four blocks of NEE between Newcomen Street and Perkins Street under the Staged DA approval. Mitigation measures for the archival recording, salvage of fabric/elements that are original to the building and are salvageable such as timber joinery (doors & windows) and leadlight glazing will be incorporated into the overall development for the management of any salvageable elements across all buildings that are proposed for demolition or modifications. Heritage Interpretation both through fabric, salvaged materials and historical documentary evidence will be, and are, incorporated into the design of Blocks 3 & 4. A Salvage Strategy and Methodology will form part of the documentation for the construction certificate stage of the NEE Blocks 3 & 4 development.

The proposal is considered to be an acceptable response to the conditions and heritage context of the precinct in line with the previous approved schemes and is therefore recommended to Council for approval, with the following recommendations:

Temporary Protection plan

- Develop a temporary protection plan that identifies the potential risks and outlines measures to reduce the potential for damage to heritage fabric during the works;

Salvage

- Prior to commencement of the works, allow the built heritage specialist to identify significant internal and external elements of buildings that will be demolished for salvage and, if necessary storage, for reinstatement as appropriate. Removal of any items to be carried out in accordance with specific salvage methodologies provided by the built heritage specialist.

Monitoring

- The built heritage specialist is to be on site during all critical processes that require specialist knowledge and methodology. Should any discoveries be made apparent during the absence of the built heritage specialist, they are to be notified immediately and work in that area is to cease.
- The built heritage specialist is to undertake regular inspections to suit the works. Timing and frequency to be agreed with the contractor.
- The built heritage specialist is to monitor the works and ensure that compliance conditions pertaining to heritage fabric are met.
- All new work associated with heritage fabric to be discreetly dated as such.
- All junctions between new and original fabric to be reversible and easily identifiable as such.

Schedule a Conservation Works

- A built heritage specialist is to develop a schedule of conservation works that identifies the works required to remedy issues identified, as well guide repairs, restoration or reconstruction. The schedule of conservation works should be prepared in accordance with the Heritage NSW Maintenance Series

Photographic Archival Recording

- A built heritage specialist is to develop an archival record (before, during and after) of areas implicated by the works in accordance with the Heritage NSW guidelines *Photographic recording of Heritage Items Using Film or Digital Capture (2006)*.

Heritage Interpretation

- A built heritage specialist is to develop a heritage interpretation plan for the proposed development in accordance with the Heritage NSW publications, *Interpreting Heritage Places and Items (2005)* and *Heritage Interpretation Policy (2005)*.

CITY PLAN HERITAGE

OCTOBER 2024

APPENDIX A:

CONSERVATION GUIDELINES PLAN & RANKING

Prepared by TKD Architects, dated 2015

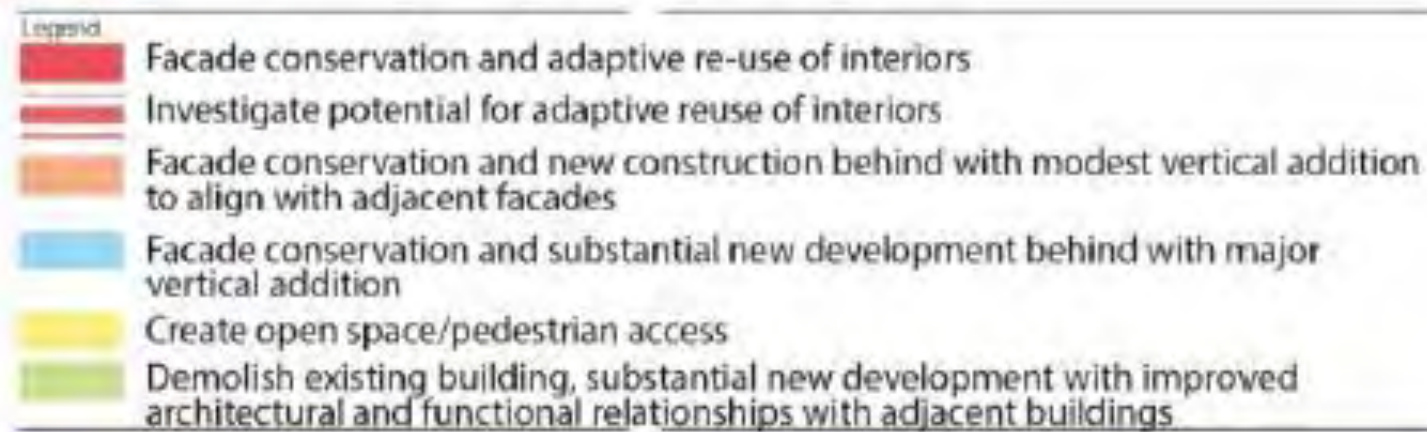


Figure 52 Newcastle East End Plan indicating general actions for heritage buildings.
Source: TKD Architects

NEWCASTLE CITY COUNCIL

This plan is referred to in
Development Application No:
DA2017/00701

The application has been consented to subject to
compliance with conditions of consent.

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CLIENT
GPT and
UrbanGrowth NSW
T + 61 2 8239 3555



Legend
LEP Items
Contributory Items

SJB Architects
T + 61 2 9380 9911



Proj. Dir	Proj. Arch	Drawn
CMJ	SM	SJZ
Job No.	Date	Scale
140181	Mar '14	NTS

NSW Notified Architects:
Robert Denton Reg. No. 5782, Alex Kibble Reg. No. 8015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

10 20 30 40 50

Project
**NEWCASTLE EAST END
PROJECT - STAGED DA**

Drawing Title
LEP AND CONTRIBUTORY ITEMS

Drawing No.
DA-02

Revision
C

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APPENDIX B:

STRUCTURAL ENGINEERING REPORT

Prepared by James Taylor & Associates, October 2022

Ref:6430:RY:rp

18 October 2022

Iris Capital
GPO Box 5479
Sydney NSW 2001
Attention: Warren Duarte

Dear Sir

PROPOSED FAÇADE RETENTION WORKS FOR EAST END 3 AND EAST END 4 DEVELOPMENT

Thank you for the opportunity to provide comment on the proposed changes to the façade retention extents for the above projects.

James Taylor and Associates have provided structural concept plans for the proposed retention of Heritage façade elements at the addresses 105-111, 121, 137-145, Hunter Street Newcastle including:

- 137 (32/864001) Hunter Street, Newcastle
- 137 (31/864001) Hunter Street, Newcastle
- 111 (A/388647) Hunter Street, Newcastle
- 109 (B/388647) Hunter Street, Newcastle
- 105 (1/77846) Hunter Street, Newcastle
- 3 (100/1098095) Morgan Street, Newcastle
- 3 (1/723967) Morgan Street, Newcastle
- 3 (98/1098034) Morgan Street, Newcastle
- 3 (96/1098068) Morgan Street, Newcastle
- 3 (2/331535) Morgan Street, Newcastle
- 22 (1/331535) Newcomen Street, Newcastle
- 66-74 (1/819134) King Street, Newcastle

You have advised that following a review of the Heritage significance of the buildings the extent of demolition is proposed to increase to include the western wall of the Municipal building (113-121 Hunter Street), the cross walls and arch supports of the Municipal building and the lift shaft of 105 Hunter Street. This report provides further information about the structural significance and likely origin of various walls and the impact on the proposed façade retention procedure if the extent of demolition is changed.

Please find below our comments relating to the two buildings, The Municipal Building and 105 Hunter Street.

MUNICIPAL BUILDING

The primary structural walls for the buildings are the north south running walls located between arched openings on the Hunter Street façade.

The internal walls of the Municipal building are typically plasterboard clad. The construction of the internal walls varies.

Linings for the internal walls have been partially removed in several areas to reveal varying, different conditions beneath. Lightweight partition walls are non-structural and most unlikely to be original. Masonry walls are a combination of original structure and later infills. Various openings have been created in the masonry walls. The shape and widths of the openings vary. The larger rectangular openings and narrow, irregular and out of alignment arches are unlikely to be original openings.

The western wall and interior north/south cross walls that abut the northern façade currently provide lateral support to the northern Heritage façade. The roof and floor structures also provide lateral support to the façade.

These elements may be removed as part of the demolition works, however the steel temporary bracing as documented will require some augmentation to replicate the support that will be removed. The steel support structure is aligned adjacent to wall locations, augmentation of the steel will be readily achievable.

Remedial works to the façade are likely to be required during/following removal of the floors and cross walls as demolition progresses. Such works are readily carried out progressively but must be programmed to occur during demolition.

105 HUNTER STREET

The standalone lift shaft can be readily demolished. The steel framing detailed to support the façade will require some minor augmentation to reflect the removal of the lift shaft and shaft support steel.

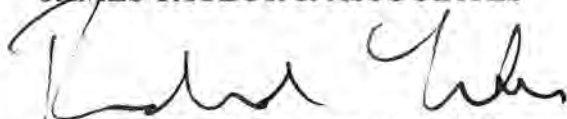
The removal of the lift shaft will simplify the steelwork for the façade support and reduce the impact on reconstruction works on the site.

We would be pleased to amend the steel support drawings to reflect the changes if desired.

We trust that this information is sufficient for you current requirements. Should you require any further information, please contact the undersigned.

Yours faithfully

JAMES TAYLOR & ASSOCIATES



RICHARD YATES B.E.(Hons) MIEAust CPEng NER 620330

Director

APPENDIX C:

COPIES OF RESPONSES TO COUNCIL REQUEST FOR INFORMATION

Prepared by City Plan Heritage between November
2023 & September 2024

10 November 2023

Our Ref: H-22001

Damien Jaeger
City of Newcastle
PO Box 489
NEWCASTLE NSW 2300
djaeger@ncc.nsw.gov.au

Dear Damien,

RE: RESPONSE FOR REQUEST INFORMATION (RFI) - HERITAGE MATTERS
121 HUNTER STREET STAGES 3 & 4 - DA2023/00419

This letter has been prepared in response to the partial Request for Information (RFI) issued by City of Newcastle (CN) by email on 12 October 2023 regarding the Development Application (DA) DA2023/00419 relating to Stages 3 and 4 East End of the development at 121 Hunter Street, Newcastle. Specifically, this letter responds to the 'Heritage Issues' raised by the Council's Development Officer (Heritage).

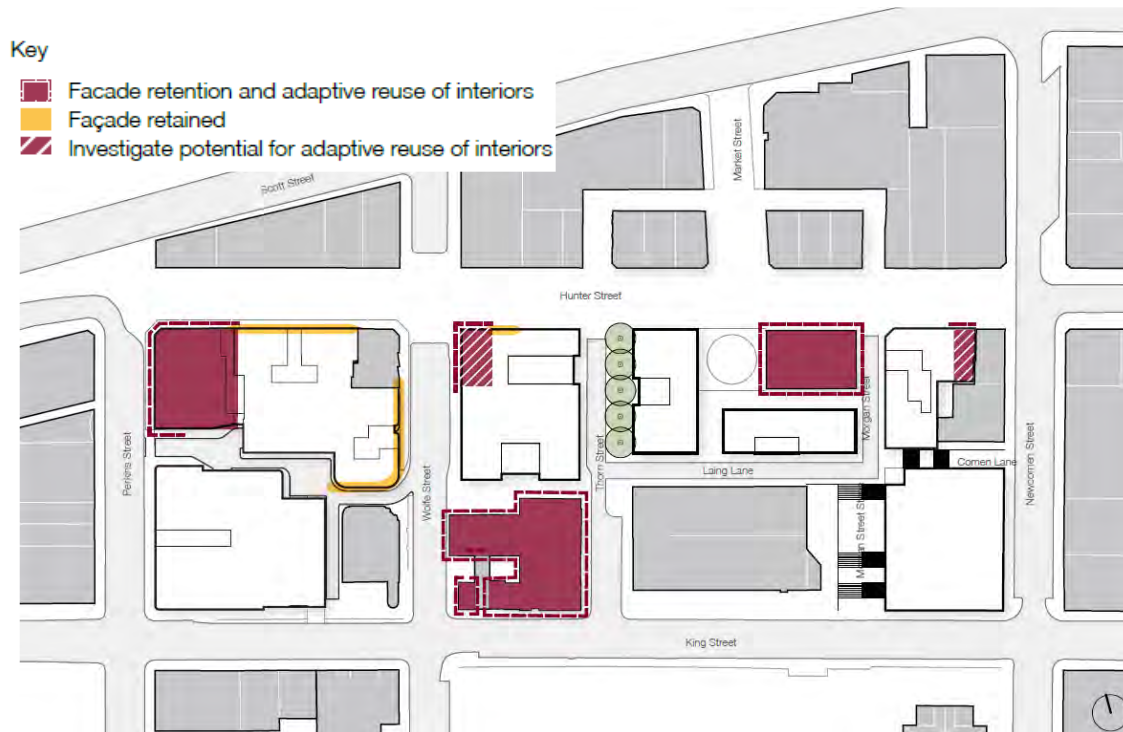
The following information relates to the heritage issues and should be read in conjunction with the accompanying information provided by the Design Team (SJB, DBJ and Curious) and Urbis.

1. BACKGROUND

Newcastle East End Project has been subject to a long history of consideration and planning process since at least 2012 when the concept of the Activity Hubs presented in the Newcastle Urban Renewal Strategy 2012 and as updated in 2014. The Concept Proposal, which was developed for the then owners The GPT Group and Urban Growth NSW, sought to deliver a commercially viable, vibrant and sustainable mixed-use development that will be integrated into the Hunter Street Mall and broader city centre experience. The key driver across the site was to allow built form and land use configuration that delivers the following objectives (SJB, NEE *Staged Development Application Concept Proposal Design and SEPP 65 Report*, March 2015):

- *Opportunity to strengthen the ground plane experience by introducing new connections and improving existing laneways, with the aim of enhancing linkages and pedestrian circulation;*
- *Respecting the prominence of the Christ Church Cathedral in the city skyline and protecting key views;*
- *Strengthening commercial viability by striking an appropriate balance between the retail and commercial offering, and a residential density that will enhance the vibrancy and vitality of the city, and*
- *Respecting the site's natural and heritage features, and understanding the key constraints relating to traffic, servicing and buildability.*
- *Appropriate mix of uses that can be developed over a series of stages.*

As part of the Concept Proposal TKD Architects and project team undertook several technical studies to inform the design and approach for the entire precinct. Based on the existing heritage controls and findings of the independent Heritage Assessment by TKD Architects, a heritage overlay was applied to the site with a number of important buildings and built elements identified for retention (see the copied image below).



The above heritage overlay shows lesser number of contributory buildings' facades to be retained or investigated for potential façade retention and adaptive reuses.

The masterplan process, as noted above from at least 2012, tested several built form scenarios, with the final approved Concept DA Approval representing a built form that balances public, private, economic and sustainability considerations. Stages 3 & 4 build on the success of Stage 1 (and soon to be completed Stage 2), to deliver an activated and permeable pedestrian environment with retail offerings afforded and supported by the imbedded residential population. A major tweak to the masterplan is proposed in Stages 3 & 4 – the removal of approved built form massing to the center of the site bound by Hunter, Thorn and Laing Streets. The change is to accommodate Newcastle Council's desire for the 'stairway to heaven' urban design strategy, an approach not identified (or valued) by Council at the time of the preparation of the masterplan document and subsequent Concept DA. Importantly the changes proposed ensure that the broader ambitions for the project - permeability, ground level activation, consolidated density, and retention of important identified public views of the cathedral from across Newcastle are maintained.

The design and conservation approach for all four blocks of the NEE project has further been considered following the ownership of IRIS through block specific Conservation Management Plans and further analysis of the existing fabric and urban context resulting in a more improved and strengthened heritage consideration across the project site. Staged development design of each block has been subject to design excellence competitions resulted in a successful outcome as proven by the recognition of the Stage 1 development through winning several architectural and urban design awards state-wide and nationally as well as a 'Highly Commended' award from the National Trust of Australia (NSW) in the Adaptive Reuse category for the former David Jones Building (now QT Hotel).

The high quality conservation and design approach employed for the award winning Stage 1 has been applied across Stage 2 and Stages 3 & 4 of the NEE project with the Stage 2 being due for completion soon where the conservation and adaptive reuse of the Lyrique Theatre & Masonic Hall, the King Street terraces, the stone retaining walls and facades of the former Royal Hotel and Soul Patterson being highly appreciated by the local community.

The careful considerations of all aspects of the Stages 3 & 4 buildings in relation to heritage and desired future character of the Hunter Street Mall and the city centre has been integrated into the NEE project in line with City of Newcastle's vision for the Hunter Street Mall as outlined in the Development Control Plan (DCP) 2012.

It is believed that the end result of Stages 3 & 4 will deliver a better outcome in relation to heritage matters than that of approved under the Concept Proposal as discussed in the submitted DA documentation and the following additional information together with the Architectural Response. Stages 3 & 4 design has also been subject to a Design Excellence competition process same as Stages 1 and 2 of the NEE project. Council officers (including the UDRP Chair) undertaking a detailed review of the competition brief before its endorsement was important, as having early 'buy in' on key issues such as heritage were critical to making sure that competition schemes could provide certainty to the applicant that they could be supported by the Council. The fundamental heritage matters that are included in the current partial RFI were not raised by City of Newcastle to be implemented into the design response. This process is standard for other design competitions in different jurisdictions.

2. ADDITIONAL INFORMATION & RESPONSE TO COMMENTS

The following table provides the required additional information to assist the City of Newcastle to complete the heritage assessment of the application. A meeting was held with the Council's Heritage Officer on Tuesday, 07 November, to further discuss these matters, and the comments below reflect the outcome of those discussions, which in summary are:

- We have agreement on all heritage matters in the DA that would be resolved in line with the responses provided in this letter with the exception of the following 3 issues, which are also addressed in further detail in the commentary below.
 - The King Street stone wall on the northern side of the street that is adjacent to the 4S "Kingston" building
 - The internal walls bisecting windows on Level 1 of the 3N "Civic" building
 - The removal of Blackall House on block 4 to facilitate the thru site link from Perkins Street to Newcomen Street

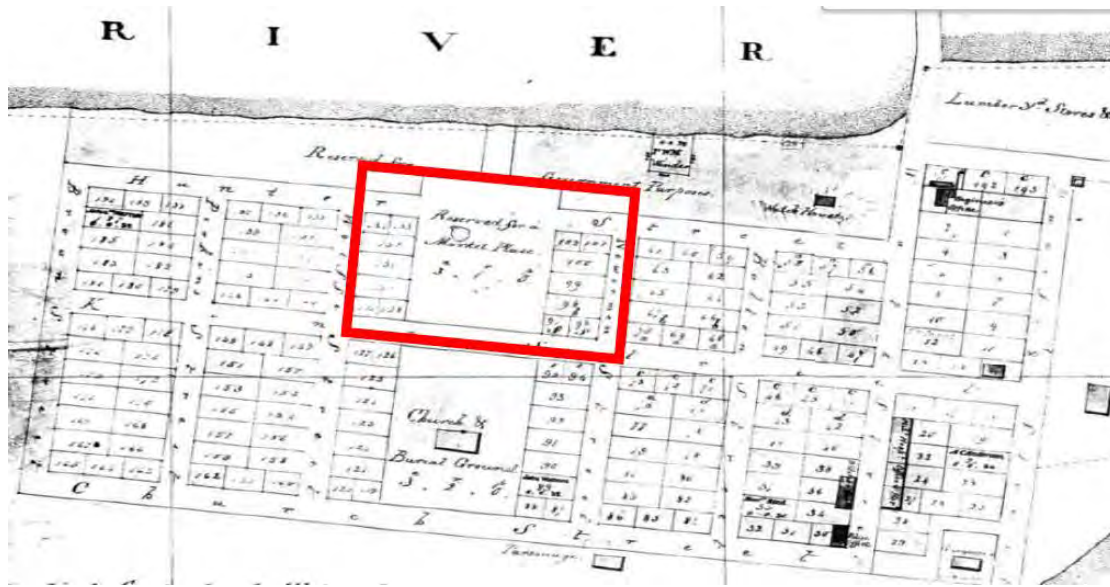
Heritage Referral Comments	CPH's Responses
<p>King Street</p> <ol style="list-style-type: none"> <i>The existing heritage stone wall located within the road reserve along the King Street frontage of the site is required to be retained. Similarly, the white ordinance fence is also to be maintained along the top of the wall but may require reconstruction in association with the provision of new footway paving.</i> <i>The landscape plans indicate street trees along the King Street frontage of the site. The installation of these trees is unlikely to be achievable due to the proximity of the heritage stone wall and the existence of existing public utilities. This needs to be addressed in any amended plans or would otherwise be addressed by conditions of consent.</i> 	<p>It is acknowledged that the Statement of Significance contained within the inventory form for the heritage item "Retaining Walls With Sandstone Steps" (I477) makes notes of the stone wall adjacent to 66-74 King Street. The Statement of Significance is quoted below:</p> <p><i>The work was probably completed by George Hunniford who is known to have constructed Wolfe Street and was responsible for most Municipal Works for a significant period in the 1870's and 1880's. The walls are an important historical item and add to the character of the city centre, in particular within Wolfe Street between King and Hunter Streets on both sides of the road, and on the north side of King Street between Perkins and Wolfe Street. The retaining walls along Wolfe, King and Newcomen Streets that bound Cathedral Park and the Newcastle Club, the north side of King Street adjacent to 66-74 King Street and the east side of Newcomen Street between the unnamed lane and King Street are also included in this listing.</i></p> <p>Notwithstanding the above the stone walls along the King Street footpath of NEE Stage 4 form the least extent and lowest (in height) retaining walls in comparison with the remainder of the King Street retaining walls and overall extent of the heritage item. Removal of the stairs provides improved pedestrian amenity and equitable access. The other reason is the pedestrian safety and sensible egress from exiting vehicles parked along this frontage of King Street. The removal of the raised footpath with stairs also provides a more permeable and open entry into the courtyard of Building 4S, which would otherwise be obscured from the public domain while also being consistent with the rest of that side of King Street that does not have walls between the road and the footpath.</p> <p>Removal of the subject stone wall adjacent to 66-74 King Street will have some impact, but it will not adversely affect the established heritage values of the heritage item nor the understanding of the existing topography of King Street. The topography will clearly be visible from the exceptional height and state of the stone retaining walls along the Christ Church Cathedral frontage. The location of the existing stone wall along 66-74 King Street will be delineated by the salvaged stone blocks, especially those currently forming the kerb of</p>

Heritage Referral Comments	CPH's Responses
	<p>the footpath with the remaining salvaged stone blocks of the wall reused to form the retaining walls within the NEE Stage 4 landscape. This approach will ensure the interpretation of the existing stone wall in the new street level of the footpath. This is considered an acceptable compromise from a heritage perspective in the context of the overall extant retaining walls of the subject heritage item as the appreciation of the identified heritage values of the item 'I477' will not be reduced. The important historical walls of the heritage item that are being considered as adding to the character of the city centre are particularly defined as being within Wolfe Street between King and Hunter Streets on both sides of the road, and on the north side of King Street between Perkins and Wolfe Street. These aspects of the heritage item will not be affected by the loss of the elevated formation of the subject stone wall. The NEE project has maintained and preserved all other sections of the Retaining Walls located within the blocks of the development. This heritage response should be read in conjunction with the design response prepared by the Design Team.</p>
<p>A Staged Development Application (DA2017/00701) for a concept proposal for the East End precinct was approved by the JRPP in 2017. A Conservation Management Plan (CMP) has been prepared for the site which provides a Statement of Significance (SoS) for the Blocks 3 & 4. Consideration has been given to the SoS in the assessment of the application and the following comments. The following additional information is required to complete the heritage assessment of this application.</p>	
<p>Building 3W</p> <p><i>The proposed Building 3W is located in the western portion of Block 3. The demolition of the existing buildings at 137-145 Hunter Street was approved under DA2023/00336 and is not a matter for further consideration.</i></p> <p>Comment</p> <p><i>The skewed alignment of Building 3W does not conform to the significant street and block layout of Henry Dangar's town layout, identified in the Statement of Significance for the Newcastle City Centre HCA: 'The town's layout by</i></p>	<p>Henry Dangar's town layout as noted in the description of the Newcastle City Centre HCA (SHI form No. 2173904) is based on a grid street system laid out in street widths with the specific emphasis given to Market place. This grid street layout is clearly maintained under the current form of the Stage 3 design as well as the configuration Building 3W as it defines the corner of Hunter Street and Thorn Street maintaining the street wall configuration along Hunter Street Mall. The proposed development does not change the grid structure; no changes to the existing road network layout is proposed. The through-site link does not undermine the Henry Dangar's town layout. While acknowledging that the development in the 20th century has reinforced the 1828 street grid, the buildings within the original city blocks remained largely scattered within these block as evident from</p>

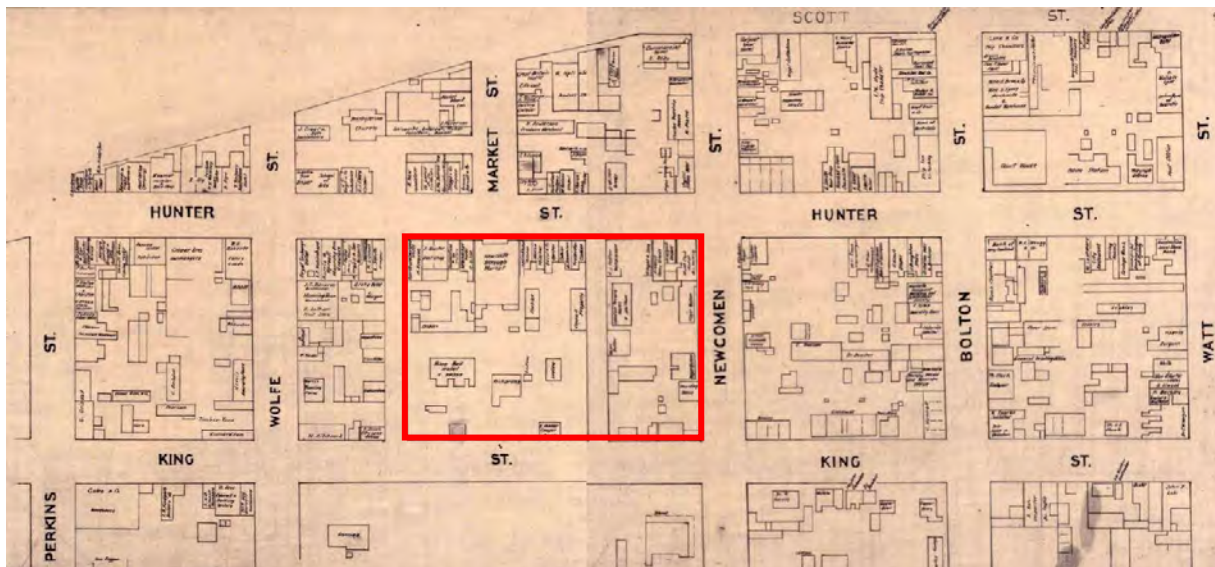
Heritage Referral Comments	CPH's Responses
<p><i>Surveyor General Henry Dangar in 1828 is still visible in the city's streets, and is an element of historical value, particularly in the vicinity of Thorn, Keightley, Hunter and Market Streets.' The layout is reinforced by the historical pattern of development of contributory buildings in the vicinity. This is not addressed in the Statement of Heritage Impact (SHI) submitted in support of the application.</i></p> <p><i>An assessment of heritage impact is requested in regard to this inconsistency and how the design of Building 3W responds to the significant town layout.</i></p>	<p>the 1886 plan copied below. The emphasise of the original grid pattern of the city centre, especially in the vicinity of Thorn, Keightley (Market Place), Hunter and Market Streets, will not be adversely effected by the orientation of Building 3W as it follows the alignment of the Hunter Street Mall then continues to meet the corner of the building lot at 92 King Street, which is setback from both sides at the Laing Street corner and at the Morgan Street corner towards King Street.</p> <p>The SOHI by TKD notes in section 3.2 Town grants that "Consolidation of the town allotments has been ongoing since the 1950s and in places earlier and today there are no blocks where the boundaries demonstrate an original town allotment."</p> <p>The current layout of Block 3 containing the 1980s additions and the Municipal Building does not allow interpretation of the market place where the regularity of the grid laid out by Dangar was only broken. As the TKD SHOI notes (section 2.3, p.13), the market place now traced by Thorn, Morgan, Laing and Keightley Streets, and the church and cemetery reserves, now forming the grounds of Christ Church Cathedral. Although the boundaries were made regular from the core of the Christ Church grounds predating Dangar's plan the whole town plan is focussed and future expansion was intended to radiate. By the proposed orientation of Building 3W, the focus would be brought back to opening up the market place frontage along Hunter Street while framing the view to Christ Church Cathedral in the centre of the block and opening up views to the Cathedral from Hunter Street along Thorn Street. As noted earlier, the ground floor plane of Building 3W will ensure the Thorn Street frontage of the street boundary is defined by landscaping and alignment of driveway to basement car parking with both Hunter and Laing Street frontages align with the street boundaries.</p>

Heritage Referral Comments

CPH's Responses



Map of Newcastle township (c. 1823-1826) copied from the TKD SOHI highlighting the market place and development site as the core of the grid street pattern radiating from the Church grounds.



1886 plan of Newcastle showing the extent of NEE Stage 3 & 4 and the scattered buildings within the grid street pattern (Source: University of Newcastle Cultural Collections - Sheets 8 & 9)

Heritage Referral Comments	CPH's Responses
<p>Building 3E & Building 3S</p> <p><i>The proposed Buildings 3E and 3S are located in the eastern portion of Block 3. The site contains an existing heritage item, 'Municipal Building' (NLEP Item 403) (proposed Building 3E). The Statement of Significance from the SHI is as follows:</i></p> <p><i>'Contributes to the overall character of the Hunter Street Mall and it is an interesting example of an Edwardian commercial building.'</i></p>	
<p>Comment</p> <p><i>The Concept Approval notes retention and adaptive reuse of the Municipal Building including its form and structure. While a demolition plan is not part of the high-level detail provided as part of the Concept Approval, drawings show retention of the roof and three-dimensional structure of the heritage item. Further, documentation associated with the concept approval notes retention of the Municipal Building in whole or in large part. The proposed development retains only the façade.</i></p> <p><i>The proposal does not minimise alteration of significant fabric or avoid facadism, (DCP 5.05). While it is noted that the interiors have been altered, this appears to mostly relate to interior fit-outs which would be reversible. It is recommended that the design is amended to relocate the basement levels proposed in this location and retain the existing floor, walls and roof structure. Further justification is required regarding how retention of the existing building has been explored to date. It is noted that the condition of the heritage item has very recently deteriorated as a result of anti-social behaviour.</i></p> <p><i>The response should include an assessment of its current condition.</i></p>	<p>Building 3E</p> <p>The proposed form of the Municipal Building allows for the building to be read and viewed all-around, which is not currently available due to the 1980s additions. The roof of the Building is not an integral part of its Edwardian architectural style and does not contribute to the heritage significance of the Municipal Building as it is obscured behind the decorative parapet of the item with no visibility from the public domain. The concept approval, as noted in the architectural response by DJB Architects, did not intend to retain the building in its current form but rather allowed for additional levels over it. The current design with roof terrace ensures the building remains as a stand-alone building and viewed in its entirety from all street frontages, and as such it is an improvement from the Concept DA. The values identified in the Statement of Significance of the Municipal Building including its contribution to the overall character of the Hunter Street Mall as an interesting example of an Edwardian commercial building will not be affected by the proposed design.</p> <p>Investigation into the existing fabric and elements of the Municipal Building have been subject to several site surveys by the undersigned both as part of the preparation of the CMP, which was dating from the Stage 1 of NEE project initially as a combined CMP and as part of the recent block specific CMP for Stage 3 & 4 (March, 2023). The interiors of the building, as noted in the Heritage Impact Statement (CPH, April 2023) and as seen in the images provided as an attachment to this RFI response letter, have been subject to a number of modifications and patching with limited number of original masonry walls remaining. In the absence of original or early floor plans of the building, establishment of the internal layout was not easily identifiable including whether the arched openings between the combined tenancy spaces are original or not, but rather identification is based on the</p>

Heritage Referral Comments	CPH's Responses
<p><i>Concern is raised that the proposed demolition is inconsistent with the recommendations of the TKD SOHI, which states that:</i></p> <p><i>Future uses should ensure the conservation of identified significant building elements, fabric, spaces, internal relationships and context, and not comprise the integral relationship between the significant buildings and their context;</i></p> <p><i>The detailed requirements of future new uses should not generate undue changes to the existing fabric that cannot be reversed in the long term, or which do not respect and work within the existing architectural framework.</i></p>	<p>perpendicular masonry walls and external window bays of the building fronting Hunter Street. An addendum in relation to the current state of condition will be provided by COB Monday, 13 November 2023, which will incorporate an amended fabric construction period and type identification to assist the Council.</p> <p>The investigation during the design competition phase revealed further that part of these perpendicular walls and the corridor walls including the arches were built in lightweight partitions with timber or metal framing. The two masonry walls that are perpendicular to the Hunter Street façade were appeared to be the only original walls, which were also subject to an ad-hoc modifications and patching. The remainder of the walls perpendicular to Hunter Street façade are later partition walls. The investigation of the western wall at the same time revealed that it contains relatively new bricks when compared with the exposed bricks of the perpendicular masonry walls of the building. The recent damage by vandal activity has further revealed the construction and materials behind the cladding of the interiors of the building as a whole confirming the two original masonry walls perpendicular to the front façade, and the western wall as being rebuilt most likely during the 1980s addition of 113-121 Hunter Street.</p> <p>While the CMP has identified the front portion of the masonry walls perpendicular to Hunter Street façade as being High significance, the recent vandal damage further revealed that only two of these walls were masonry, which were also already modified, repaired/in-filled in an ad-hoc manner and new materials. In some areas it was apparent that the building had some fire damage where the fabric was replaced and lost making it even more difficult to establish the original layout of the interiors of the building. The building does not feature any internal decorative detailing nor presents any significant spaces that would reflect its original layout hence the interiors were ranked in the CMP as being of Little significance. Notwithstanding, the proposed adaptive reuse layout for the residential apartments with central common corridor to apartments as well as the maintained floor levels reflect the existing layout to the Hunter Street frontage of the building. It is therefore concluded that the treatment of the interiors in the context of the limited significant fabric and further damaged internal structural elements that require replacement of the majority of the internal elements including walls, floors and</p>

Heritage Referral Comments	CPH's Responses
<p><i>Floor plans show walls bisecting existing first floor arched windows. It is unclear how this will appear and should be adjusted to maintain the integrity of each window bay.</i></p> <p><i>Balconies behind the façade over-emphasises the proposed facadism – replacement with internal rooms (with</i></p>	<p>ceilings will not adversely affect or compromise the relationship of the interiors and the Municipal Building's relationship with its context. The significant aspects of the Building are essentially its Edwardian architectural detailing to the facades along Hunter and Morgan Streets of which are retained and made good under the proposed development.</p> <p>Only two walls on Level 1 were bisecting the window mullions of Hunter Street façade of which both are within one unit respectively. It is evident that the existing configuration of the building also has a few partition walls that abut the windows and they are not visible from the exterior. Following the meeting with the Council's Heritage officer, further design changes have been made to the layout of Unit 101 to avoid bisecting partition walls from the windows, subject to purchaser's confirmation of the proposed changes (this unit has been sold). Except for Unit 102 there is no other window that is bisected by a partition wall. Two of four units (Units 101 and 103) on Level 1 have already been sold. As suggested by the Council's Heritage Officer, consideration of creation one-bed units to allow for each window bay to be in one room was given; however, it was revealed that the floor plate of Municipal Building is too big for a one-bed unit layout and become unfeasible from a development perspective in terms of realisable value. Also, increasing numbers of units on Level 1 to accommodate one-bed units would not meet the residential requirements and standards. While not ideal solution, it is not uncommon to have such configuration in adaptively reused buildings similar to the Municipal building and warehouses. The arched timber windows of the building have wide mullions and deep reveals that are capable of accommodating such bisecting partition wall of Unit 102 to allow provision of functional residential amenity without effecting the external integrity of the subject window and the building's overall architectural composition. Carefully detailed window specific junction has been developed by the Architects to ensure no visibility from outside. Refer to the details in the architectural response for details, and images of existing partitions within the Municipal Building provided below.</p> <p>Balconies behind the retained existing timber windows would not appear as 'façade only retained' configuration. The balconies are designed in a winter gardens form with ceilings (ie. not open to the sky) with the internal full-height glazed</p>

Heritage Referral Comments	CPH's Responses
<p><i>existing windows retained) would create the illusion of depth.</i></p> <p><i>It is unclear how the western elevation will be resolved. There are discrepancies between the elevations and the various renders provided throughout the documentation. Some show a contemporary finish, others show faux-heritage elements to match the character of the façade. Clarification of this treatment is required.</i></p>	<p>walls that would allow for a deep room configuration. Examples of such balconies have been successfully used in the Stage 1 adaptively reused 'Fabric House' also designed by DBJ Architects.</p> <p>The western elevation of the building will be a simple facebrick façade with arched vertically proportioned windows reflecting the width of the windows on each level of the front elevation as seen in the image below. None of the Edwardian cornices or decorative mouldings of the existing front facades will be imitated. The proposed treatment reflects the original western elevation as detailed below.</p>  <p>The western elevation of the building as noted previously was built as part of the 1980s additions to the west resulting in a new external configuration that is unclear if it was reflecting the original detailing of the building or not. The western elevation was adjacent to the demolished Strand Theatre as seen in a 1972 photograph taken from Market Street. An aerial of Block 3 taken after the demolition of Strand Theatre reveals the western elevation of the Municipal Building. Drawings and renders will be amended to reflect this consistent approach. The proposed treatment of the western elevation of the Municipal Building is considered acceptable from a heritage perspective as it will clearly be understood as a new element.</p>

Heritage Referral Comments

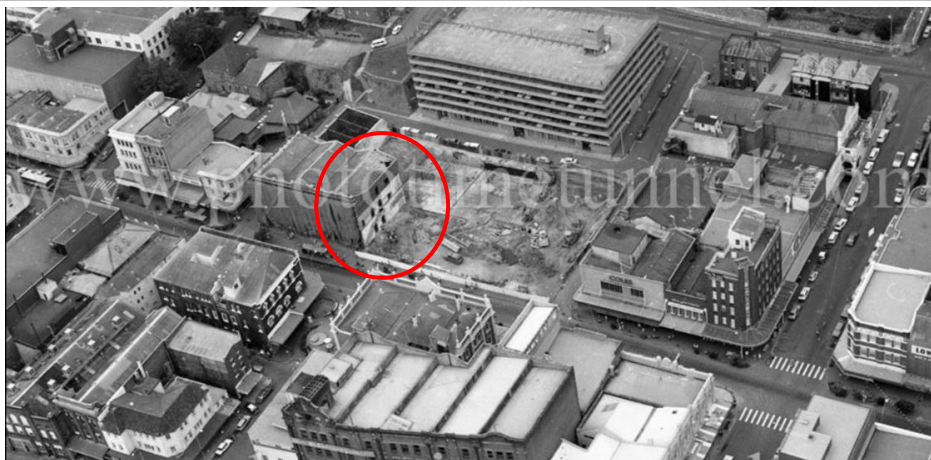
CPH's Responses



Views of the existing internal partitions in the Municipal Building prior they have been damaged.



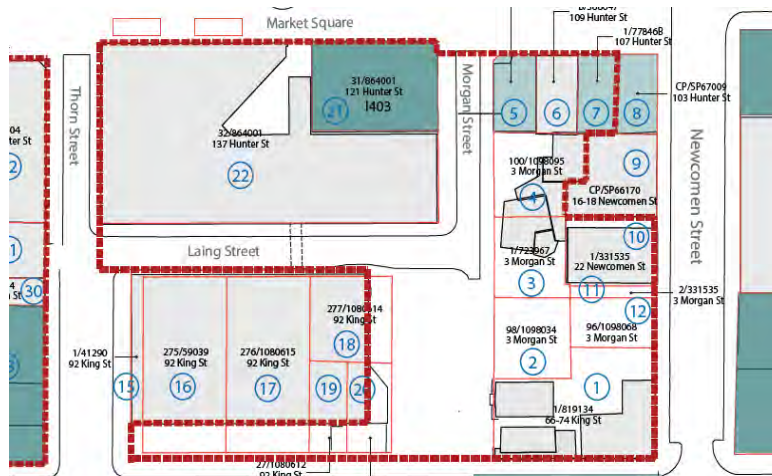

1972 photograph of the Strand Theatre a few years before its demolition - note the Municipal building to its left. The western wall of the Municipal Building was adjacent to the theatre's wall with only top of the tapering parapet is visible. Refer to the aerial image on the next page showing the west elevation after the demolition of the Strand Theatre (Source: Newcastle Region Library)



Aerial view of NEE Block 3 showing the demolition site of Strand Theatre with the western elevation of the Municipal Building exposed. Note the several arched windows and the tapered and straight parapet of the building that is similar to that of proposed. (Source: <https://www.phototimetunnel.com/product/aerial-view-of-strand-cinema-demolition-site-newcastle-nsw-january-19-1980>)

Heritage Referral Comments	CPH's Responses
<p>Building 4N</p> <p><i>The proposed Building 4N is located in the northern portion of Block 4. This area is currently occupied by contributory buildings at 105, 109 and 111 Hunter Street, and 22 Newcomen Street.</i></p> <p><i>The design of Building 4N retains the heritage facades of existing buildings 111 Hunter Street and 105 Hunter Street. 109 Hunter Street and 22 Newcomen Street are proposed to be demolished.</i></p> <p>Comment</p> <p><i>The CMP does not include an assessment of heritage significance of the individual contributory buildings within the site. Concern is raised that there is insufficient information on which to assess the demolition of contributory buildings. No commentary is provided on exploration into other options for retention and adaptive reuse that would retain a greater proportion of building fabric.</i></p> <p><i>The CMP notes that the design of the building at 111 Hunter Street is attributed to prominent Newcastle architect Frederick Menkens. It is also noted that the interiors of the building were not accessible and assumes they may be of moderate significance to allow for an archival record prior to demolition. It is considered that the significance of this building should be assessed prior to supporting demolition.</i></p> <p><i>There is insufficient information to support the demolition of the contributory building at 22 Newcomen Street (Blackalls House). Submissions have raised concern regarding its potential social significance. This should be assessed prior to supporting demolition. The building appears to be in reasonable</i></p>	
	<p>The buildings within the Newcastle City Centre including contributory buildings within the site have been subject to a number of heritage studies in addition to those have been carried out during the concept plan approval and the City Centre HCA. None of these studies have identified or considered these building as being meeting the threshold for heritage listing rather they were assessed as being of contributory to the HCA. Since CPH's assessment concurred with the findings of these previous studies based on the historical development of these buildings and physical inspections no further significance assessment under the seven criteria were considered necessary.</p> <p>As noted in section 5.5.1 of the CMP, while recent documentation attributes the architect for the building at 111 Hunter Street as being Frederick B Menkens, this could not be verified during the extensive research undertaken for the entire NEE project site. While during the preparation of the early versions of the CMP the interiors of the contributory buildings were not accessible, they were subsequently accessed and the latest version (April 2023, submitted as part of the subject DA2023/00419) includes internal photographs of 105 and 111 Hunter Street and 22 Blackall House. Interiors of 109 Hunter Street could not be accessed; however, its interiors were historically available (dating from 1969 and 2008) as seen in Figures 145-150 of the CMP. It is clear that the interiors of 109 were simple office spaces with fibro ceilings and no decorative or otherwise detailed elements.</p> <p>While they were not individually assessed under the NSW Assessment Criteria, Blackall House and all other contributory buildings within Stages 3 & 4 have been considered in detail in the CMP through inspections, historical background research and comparative analysis that informed the combined Assessment Criteria for the entire NEE precinct (Section 8.3) where its social values and community</p>

Heritage Referral Comments	CPH's Responses
<p><i>condition and dates from the Key Period of Significance of the Heritage Conservation Area.</i></p> <p><i>The application proposes construction of a retail space with basement connection to Building 4S on the location of Blackall House – 'Laing Lane Café'. It is considered that options yet to be explored may include retention of Blackall House for a retail space linked to the overall development at the side or rear as the Laing Lane Café space, instead of constructing a new building for this purpose. The Design Statement notes that 'this opportunity provides valuable fine grain at street level', however it is considered this is also readily achieved by retaining the existing contributory building. Further information is requested in this regard.</i></p>	<p>associations as an establishment of the Adult Deaf and Dumb Society of Newcastle have been identified (Criterion d) and noted as a contributing element in the Statement of Significance (Section 8.4).</p> <p>The demolition of the Blackall House was not the result of its condition rather it was already considered under the approved Concept Proposal Design and subsequent DCP Controls where the new laneway/pedestrian link to Morgan Street was to be established. This was clearly included in the TKD SOHI in the proposed works plans for Hunter, Morgan, King and Newcomen Street Block marking the Blackall House as to be demolished for a "substantial new development with improved architectural and functional relationship with adjacent buildings" (TKD SOHI Figure 61 - see extract below). While the general principles for redevelopment of heritage places in the TKD SOHI recommends internal adaptive reuses, it only considered the heritage listed items within the NEE precinct. The SOHI has also indicated in its recommendations that the impacts of the works to contributory building should be assessed on the HCA and the nearby heritage items rather than their internal adaptive reuses. Appendix C of the TKD SOHI provides detailed "Heritage Development Opportunities and Constraints" with Drawing Sheet DA-02 indicating the LEP and Contributory Items marking Blackall House as a non-contributory building (see extract image below).</p> <p>Investigation into the adaptive reuse of the Blackall House in line with the proposed laneway and basement has been considered with overlays provided in the architectural response where it is clear most of the building would need to be demolished with no functional or feasible spaces remaining for it to accommodate the proposed commercial and residential uses.</p> <p>Additionally, the Newcastle DCP 2012 (section 6.01 - Newcastle City Centre) also confirms removal of Blackall House to create the pedestrian only link running from Perkins to Newcomen Street as the "preferred location" as noted in <i>Figure 6.01-29: Hunter Street Mall Precinct</i>. See the annotated Figure 6.01-29 on page 12 below. It is not feasible to retain Blackall House, and deliver the vision as outlined in City of Newcastle's DCP which identifies the area for a through site link.</p>

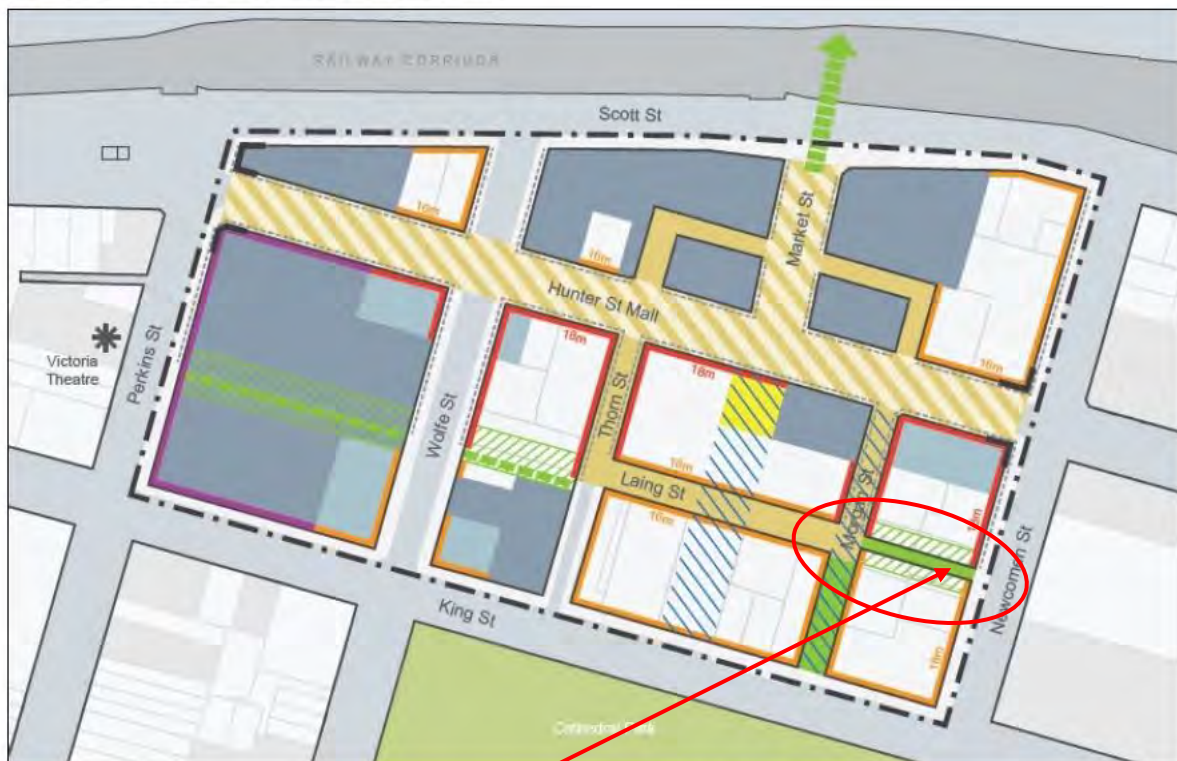
Heritage Referral Comments	CPH's Responses
	<p>The social values of Blackall House will be incorporated into the heritage interpretation within common areas (possibly the Laing Café and residential lobby of Building 4N), and may be with additional naming to a space or building at the same location (such as 'Blackall Lane') in addition to the salvaged bricks that will be used in the construction and paving of the new café building.</p> <p>Please refer to the extracts of the relevant TKD and DCP plans on the following pages, as well as the drawings in the architectural response.</p>
<p>(Source: Extracts from Appendix C of TKD SOHI Drawing DA-02)</p> 	

Heritage Referral Comments

CPH's Responses

Extract from the Newcastle DCP

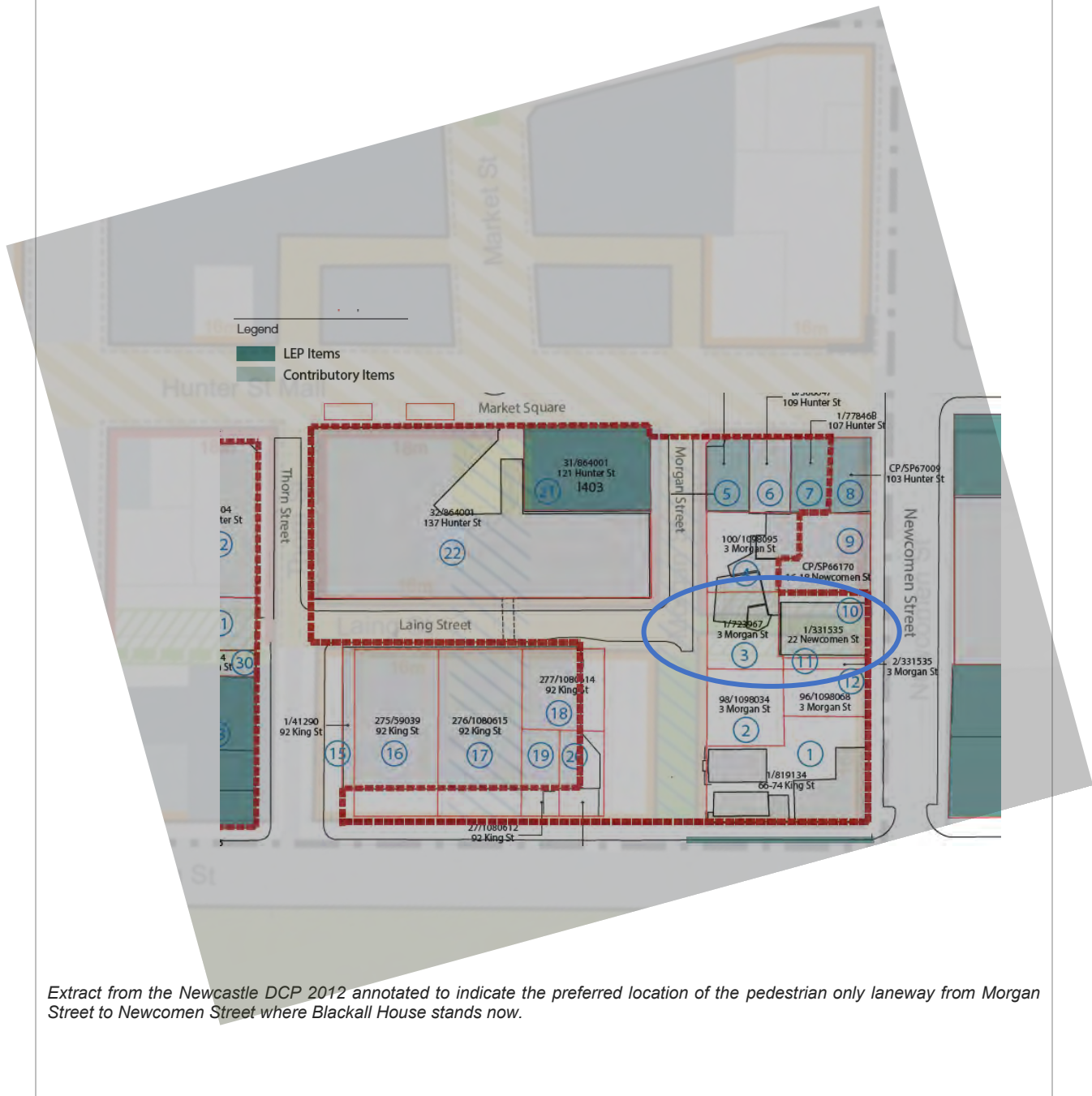
Figure 6.01-29: Hunter Street Mall Precinct



- | | |
|--|--|
| — Urban block, nil setback to street boundary | ▨ Shared zone to be retained and improved |
| — 18m maximum street wall height | ▬ Special emphasis on corner building |
| — 16m maximum street wall height (typical) | — Active frontage required |
| — 22m maximum street wall height | ▬ Heritage building |
| ▨ Proposed new open space / courtyard | ▬ Contributory building (desired reuse) |
| ▨ Important new corridor to Christ Church Cathedral | ▬ Heritage building outside precinct boundary |
| ▨ Proposed new pedestrian crossing (replacing footbridge) | ✱ Important landmark / destination outside precinct boundary |
| ▨ Proposed new open pedestrian link (preferred location) | ▬ Public green open space |
| ▨ Proposed new through-site link / arcade (preferred location) | — Cadastre boundary |
| ▨ Zone in which proposed new link should occur | ▬ Key precinct boundary |
| ▨ Connection to be retained and improved | |

Heritage Referral Comments

CPH's Responses

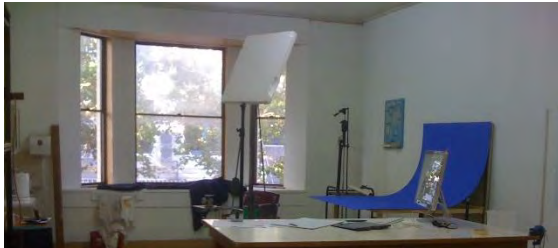


Heritage Referral Comments	CPH's Responses
<p><i>The existing building at 109 Hunter Street is identified as a contributory building. Its façade is identified in the HIS as being of moderate significance and contributes to the row of four buildings between Morgan and Newcomen Street. The façade of this building is retained and incorporated into the development. The HIS notes that the façade of this building was reconstructed to match the original 1926 façade following removal of cladding – further information is requested in this regard to explain this conclusion.</i></p> <p><i>The following aspects of Building 4N should be reconsidered to minimise the appearance of facadism and promote greater integrity of the existing streetscape:</i></p> <ul style="list-style-type: none"> <i>▪ The proposed almost zero setback detracts from the human scale of Hunter Street and should be significantly increased. Balconies behind the façade over-emphasises the nature of the proposed facadism and should be replaced with internal rooms (with existing windows retained) to create the illusion of depth.</i> 	<p>As noted and evident from the historical photographs of 109 Hunter Street provided in both the CMP and the HIS (CPH, April 2023) the façade of the building has been reconstructed with detailing reflecting the original façade in a crude and not well executed manner and finishes. It is clear in the photographs below the façade cladding that was seen on the facade in a 1970 photograph was flush with the facades of the adjoining 105 and 111 Hunter Street when the two window bays were also removed.</p> <p>The subsequent reconstruction in the late 1990s - early 2000s is evident from the close up detailing of the materials and junctions/patching both internally (as seen from the images provided by Professor Jane Shadbolt) and externally from the survey images of CPH. The tacked in concrete/cement formwork with various patching, aluminium framed windows and different style of lettering 'FJ' and date '1926' inscription. As it is not easy to take clear direct photograph of the building from opposite it is hard to compare but when compared with the 1938 historical photograph of 105, 109 and 111 Hunter Street with the current images of the same buildings it appears that sill/lintel and parapet apex levels of 109 Hunter Street are slightly higher than the original. Please refer to the images provided below.</p> <p>Policy 35 of the CMP provides guidelines for retention of fabric and setbacks with explanatory notes allowing for zero setback for vertical addition to 105, 109 and 111 Hunter Street to be set behind the parapets to clearly articulate the existing facades and playful form of the decorative parapets of these contributory buildings. Building 4N is consistent with the recommendations of Policy 35 as it allows clear separation between the new vertical additions and the historic facades of the 105 and 111 Hunter Street. This zero-setback approach has been successfully executed in Stage 1 of NEE project where balconies have also been included behind the retained façade (Fabric House) as well as a number of other building within Newcastle and the Sydney CBD to mention. The windows to these buildings are retained with the balconies acting as winter gardens incorporating full height glazed wall at the back to ensure no or limited visibility illustrating sufficient depth from external views.</p>

Heritage Referral Comments	CPH's Responses
<ul style="list-style-type: none"> ▪ <i>The heritage façade of 105 Hunter Street would be better treated with a contrasting finish to the new addition behind</i> ▪ <i>The application contains conflicting information as the design statement notes that the existing lift and lift shaft are being removed to facilitate the new residential building, however the demolition plan notes that the lift car is to be retained and featured in the new building. Clarification is required in this regard. It is recommended that the lift car and shaft are both retained as they are identified as elements of exceptional significance in the CMP.</i> ▪ <i>Remove the proposed holes cut into the parapet of 105 Hunter Street.</i> 	<p>The façade of the new building above 105 Hunter Street has been carefully detailed responding to the vertical bays and elements of the existing façade while ensuring it is sympathetic and seamlessly fit within the historic character of the buildings along the southern side of Hunter Street Mall in this block and not just the subject building. The new addition is an architecturally well executed composition that harmonises within its historic context while responding to the conservation policies of the CMP. Further information is provided in the architectural response to the RFI.</p> <p>The lift shaft was subject to further investigation as detailed in the CMP under explanatory notes of Policy 35. Its retention would not be possible in the new layout of a compliant residential building. Therefore, only the lift car is considered for retention in a public domain of the new building for interpretive purposes. Notwithstanding, the new lift shaft is essentially in the same location as the existing shaft. Please refer to the architectural response in this regard.</p> <p>The holes, which are cut into the parapet of 105 Hunter Street, were the result of providing amenity and daylight to the residential units behind the parapet where it extends above the wide decorative ledge of the building's façade obscuring visibility of the parapet from public domain of Hunter Street Mall and from along Newcomen Street in the north to south direction due to the street trees. The holes are cut within the recessed panels of the mirrored sides of the parapet. Notwithstanding no visibility of the subject parapet from public domain the proposed holes will not adversely affect the architectural detailing and composition of the building's façade. The panels can easily be re-filled in the future if required. Such minor modification to a parapet recessed panels is not uncommon practice when a building is adapted for residential purposes beyond the parapet level.</p>

Heritage Referral Comments

CPH's Responses




Internal images of 109 Hunter Street (above) showing the tucked on the window opening unlike the original window bay of 105 Hunter Street on the left. Note the partition wall abutting the window mullion to the left.



External images of 109 Hunter Street (top) showing the tucked on the window bay to reflect the original window bays of the building that were removed in the early 1970s. Also note the building name plate and date as well as the capping edge of the parapet that was originally covering both the horizontal and vertical ends of the parapet. The current parapet capping is only included on the horizontal edges.

Heritage Referral Comments	CPH's Responses
<div data-bbox="233 520 388 552" data-label="Section-Header"> Building 4S </div> <div data-bbox="233 567 1066 598" data-label="Text"> <p><i>The proposed Building 4S is located in the southern portion of Block 4.</i></p> </div> <div data-bbox="196 644 329 674" data-label="Section-Header"> Comment </div> <div data-bbox="196 688 686 1087" data-label="Text"> <p><i>The proposed height of Building 4S is significantly taller than that which was approved in the Concept Plan or allowed under the Newcastle Local Environmental Plan 2012. Concern is raised that the proposed additional height increase may impact views from the adjoining heritage item, the Newcastle Club (40 Newcomen Street). It is noted that access was not obtained to confirm existing views from the Club and quantify this potential impact. Further analysis is requested in this regard.</i></p> </div> <div data-bbox="196 1100 686 1314" data-label="Text"> <p><i>The Statement of Significance for the Club, set out in the SHI, notes '...with its prominent siting, high on the hill overlooking the city, the club is a landmark site and makes an imposing and impressive contribution to the street and townscape.'</i></p> </div> <div data-bbox="196 1329 686 1757" data-label="Text"> <p><i>The Heritage Impact Statement (HIS) does not provide a discussion regarding the potential adverse impact of the development on the significance and setting of the Newcastle Club. It is considered that the bulk and scale of proposed Building 4S may detract from the landmark nature of the Newcastle Club. An assessment of heritage impact of the proposed Building 4S on the significance of the Newcastle Club is required, including a comparison between the approved Concept Plan envelope and the current proposal.</i></p> </div> <div data-bbox="196 1770 686 1833" data-label="Text"> <p><i>Building 4S is also adjacent to a listed heritage item, 'Retaining Walls and</i></p> </div> <div data-bbox="699 688 1433 963" data-label="Text"> <p>While the proposed height to Building 4S is taller than the approved Concept Plan or allowed under the LEP 2012, the additional height is in part the result of 10% bonus which took the LEP allowable height plane of RL 42 to RL 44.58 as indicated in the Visual Analysis undertaken by Urbis as part of the DA2023/00419 documentation. Any exceedance above this was a consequence of City of Newcastle's agreement to redistribute mass to maintain amenity in return for delivery of the Harbour to Cathedral corridor.</p> </div> <div data-bbox="699 978 1433 1134" data-label="Text"> <p>As it is clearly visible from the photomontage for View 01 from south towards the Newcastle CBD from Stockton Ferry the Concept Plan and LEP height plane are almost the same with the LEP height plane being slightly taller than the Concept Plan already blocking the views of the Club behind.</p> </div> <div data-bbox="699 1146 1433 1331" data-label="Text"> <p>The landmark values and nature, and prominent setting of the Newcastle Club building with its imposing and impressive contribution of the building to the street along King Street (both directions) and from northern approaches of Newcomen Street will remain uninterrupted despite the additional height increase of Building 4S.</p> </div> <div data-bbox="699 1346 1433 1530" data-label="Text"> <p>While acknowledging that there will be some impact due to the change in the building stock of Stage 1 opposite the Club, the established significance of Newcastle Club will not be adversely affected by the current proposed design of Building 4S as evident from the comparative photomontages of the Stages 3 & 4.</p> </div>	

Heritage Referral Comments	CPH's Responses
<p><i>Sandstone Steps' (NLEP Item 477). The application proposes to demolish part of the heritage item on the northern side of King Street adjacent to Building 4S to level the footpath. The existing retaining walls and steps are evidence of the characteristic topography of The Hill and City Centre and should be retained. The HIS notes that there is a conflict between the road and new building levels, but it is noted there is no vehicular access proposed to this building from King Street that would interact with the stone walls and steps, therefore it is recommended this should be maintained.</i></p>	<p>This matter has been addressed under King Street at the beginning of this response letter.</p>
<p>European Archaeology</p> <p><i>The site is identified within the Newcastle Archaeological Management Plan 1997 (NAMP) and Newcastle Archaeological Management Plan Review 2013 as containing potential State significant archaeology. There are 12 potential archaeological sites identified within the project area of Stages 3 and 4 in the NAMP.</i></p> <p><i>The application has been referred to Heritage NSW for comment in this regard. See below comment regarding their response.</i></p>	
<p><i>The proposal has been assessed by Heritage NSW and the issues raised in the attached letter dated 17 August 2023 need to be addressed.</i></p>	<p>As noted in the Heritage NSW comments dated 17 August 2023, none of the buildings within Stages 3 & 4 are listed on the State Heritage Register (SHR) under the NSW Heritage Act 1977. Notwithstanding, they provided comments on the likely visual impacts of the proposed increased height of the development on the Christ Church Cathedral, which is an SHR (No. 01858) item. Views to and from the Cathedral were considered by the Heritage Council's Approvals Committee at the time of the Concept Plan.</p> <p>Heritage NSW raised concerns in relation to the increased height of the proposed development from those approved Concept Plan height planes noting that the "views from the Market Place and Queens Wharf Promenade to the Cathedral will be diminished". This statement does not reflect the true condition of the views under the current proposal from the Queens Wharf Promenade as seen in the photomontages for Views 04 and 05 provided in the Visual Analysis by Urbis for DA2023/00419. While acknowledging</p>

Heritage Referral Comments	CPH's Responses
	<p>that there will be a changed visual impact than those the Concept Plan building envelopes, the views to the Cathedral will not be diminished rather will be narrowed from the eastern side but remain framed. The Concept Plan did not have any view south of the Cathedral - the proposed outcome reflected in the DA is a far better outcome - a change that Iris accommodated at the request of City of Newcastle. It should be noted that the approved Concept Plan had a building on Block 3 that blocked 80% of the Market Street corridor which blocked the view of the Cathedral almost in its entirety as seen below.</p>
 <p>Artist impression of 8 Market Street included in the Concept Plan Scheme Analysis showing the blocked view of the Cathedral (Source: SJB Architects, Newcastle East End Staged Development Application Concept Proposal Design and SEPP65 Report section 5.8.5, p.67).</p>	

3. CONCLUSION

I trust the response and additional information provided in this letter in relation to heritage matters will satisfy the requirements of the City of Newcastle and will assist in finalisation of the assessment of the proposed development at Newcastle East End Stages 3 & 4 under the DA2023/00419 that is currently before the Council.

Should you have any questions or wish to discuss the matter further, please do not hesitate to contact me on 02 8270 3500 / 0414 421 035 or at kerimed@cityplan.com.au.

Yours Sincerely,



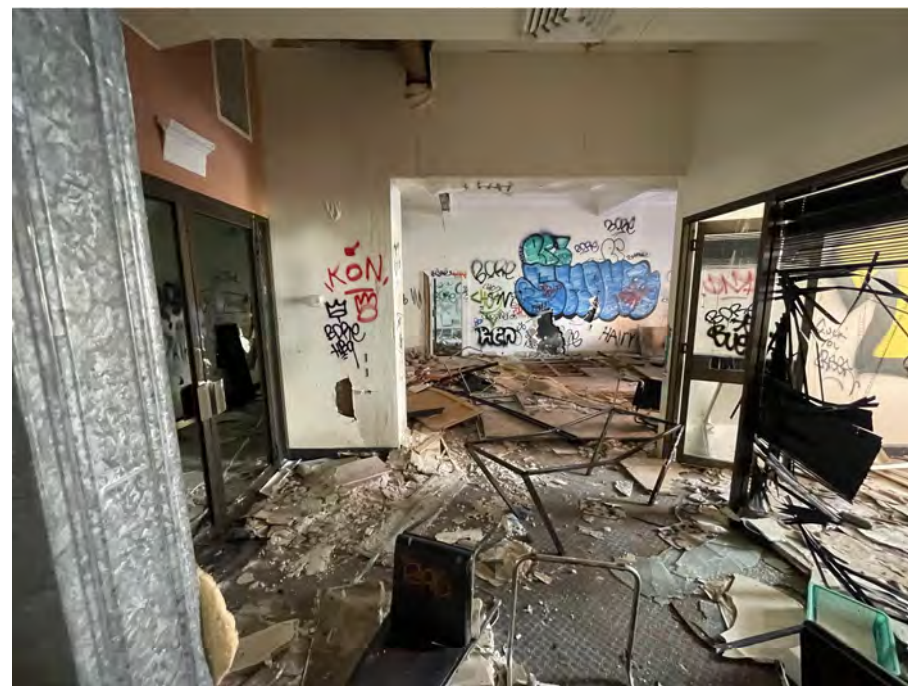
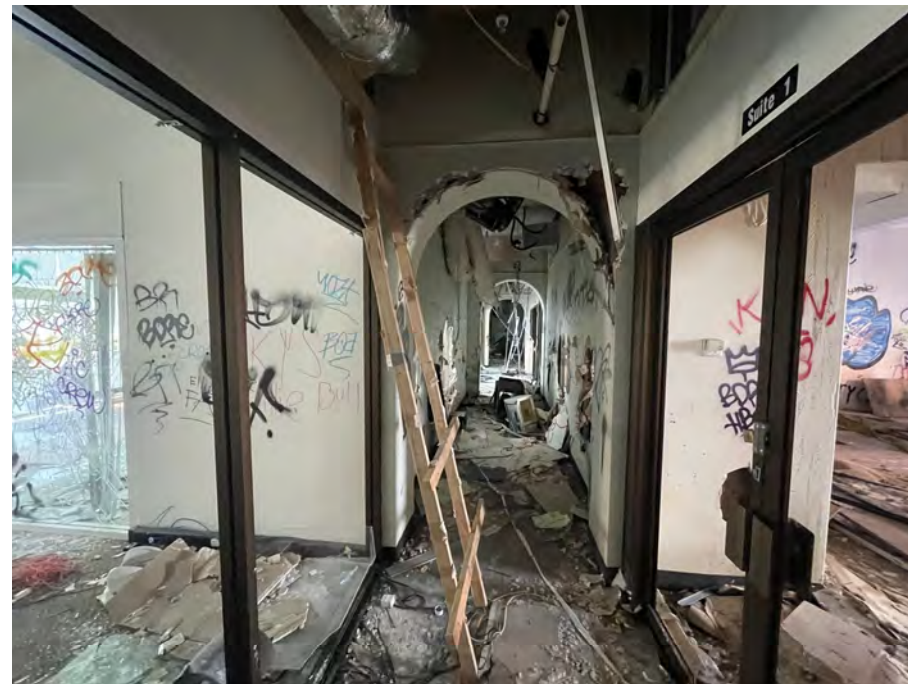
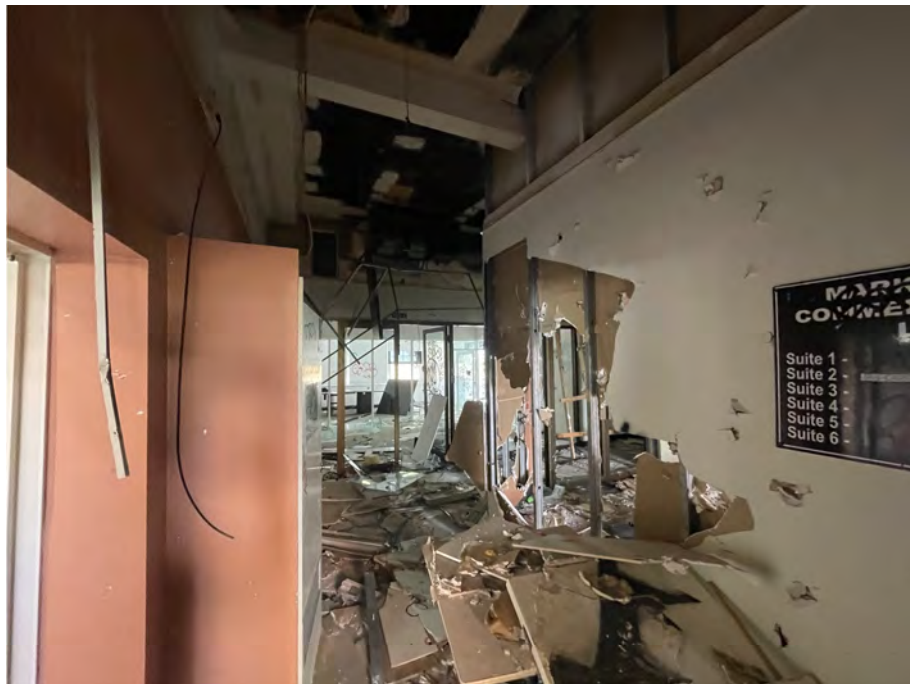
Kerime Danis
Director - Heritage

Enclosed:

Images of the Municipal Building showing current condition of interiors

PS. As noted above, an addendum for the condition assessment & revised fabric analysis of the Municipal Building will be provided separately by COB Monday, 13 November 2023

121 HUNTER STREET, NEWCASTLE - MUNICIPAL BUILDING AFTER VANDALISM / DATED 18 OCTOBER 2023

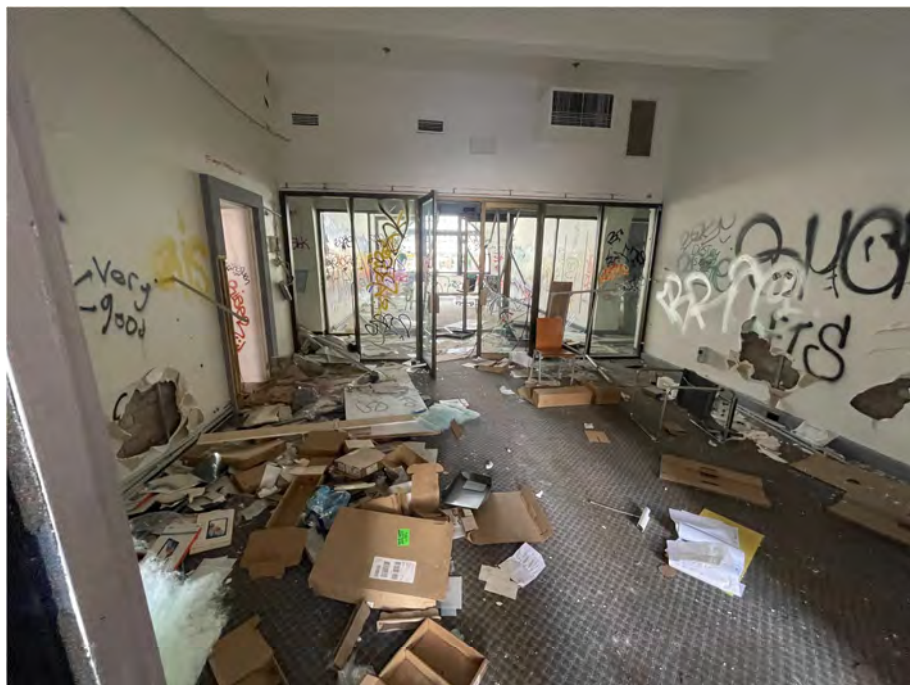




121 HUNTER STREET, NEWCASTLE - MUNICIPAL BUILDING AFTER VANDALISM / DATED 18 OCTOBER 2023



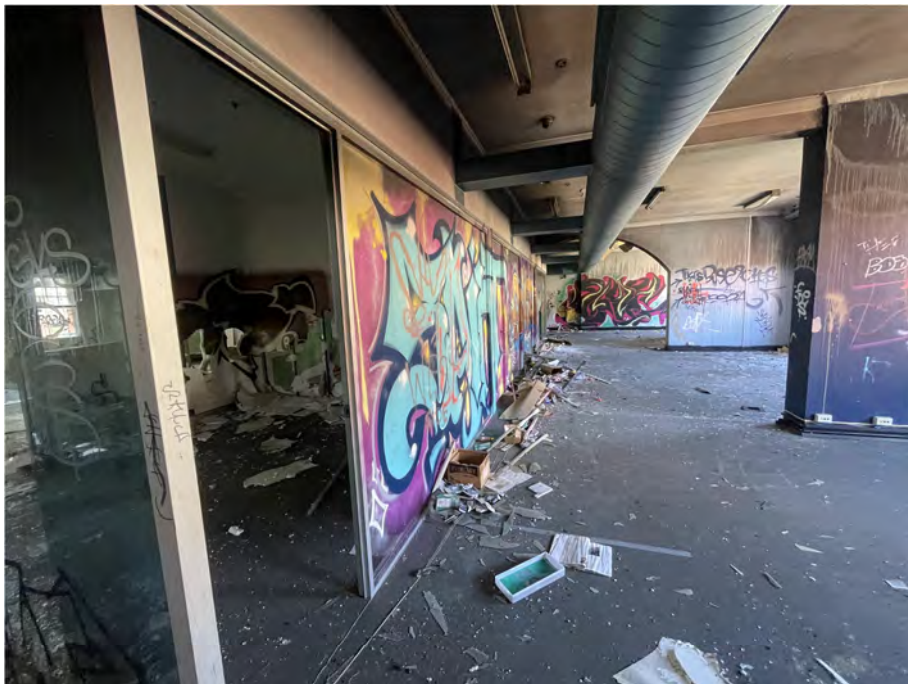
121 HUNTER STREET, NEWCASTLE - MUNICIPAL BUILDING AFTER VANDALISM / DATED 18 OCTOBER 2023



121 HUNTER STREET, NEWCASTLE - MUNICIPAL BUILDING AFTER VANDALISM / DATED 18 OCTOBER 2023



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121 HUNTER STREET, NEWCASTLE - MUNICIPAL BUILDING AFTER VANDALISM / DATED 18 OCTOBER 2023



121 HUNTER STREET, NEWCASTLE - MUNICIPAL BUILDING AFTER VANDALISM / DATED 18 OCTOBER 2023



14 November 2023

Our Ref: H-22001

Damien Jaeger
City of Newcastle
PO Box 489
NEWCASTLE NSW 2300
djaeger@ncc.nsw.gov.au

Dear Damien,

**RE: ADDENDUM TO RESPONSE FOR REQUEST INFORMATION (RFI) - HERITAGE MATTERS
121 HUNTER STREET STAGES 3 & 4 - DA2023/00419**

This addendum has been provided in relation to the assessment of the current condition of the Municipal Building and subsequent revised fabric analysis at the request of the Council's Development Officer (Heritage). The need for an updated condition assessment arisen following the recent considerable vandal damage to the interiors of the building. This addendum should be read in conjunction with the response to the partial Request for Information (RFI) issued by City of Newcastle (CN) by email on 12 October 2023 regarding the Development Application (DA) DA2023/00419 relating to Stages 3 and 4 East End of the development at 121 Hunter Street, Newcastle.

The condition assessment is limited to the interiors of the Municipal Building located at 113 Hunter Street. It should be noted that the building is currently inaccessible due to hazardous conditions, and therefore internal images used in the assessment of the condition have been undertaken by Jamie Boswell of Iris Capital on 18th October 2023.

The assessment in this addendum also will update section 3.3.2 of the Conservation Management Plan for Stage 3 & 4 (CPH, March 2023), which describes the condition and architectural detailing of the Municipal Building

1. CONDITION ASSESSMENT

As noted in the Response to the partial RFI for Building 3E, the Municipal Building has been subject to antisocial behaviour resulting almost all of its internal elements including partition walls, masonry walls, floors and ceilings have been damaged. The damage exposed fabric that was not previously visible, which now enables clarification of the materials, integrity and originality of the internal fabric and structural elements of the building.

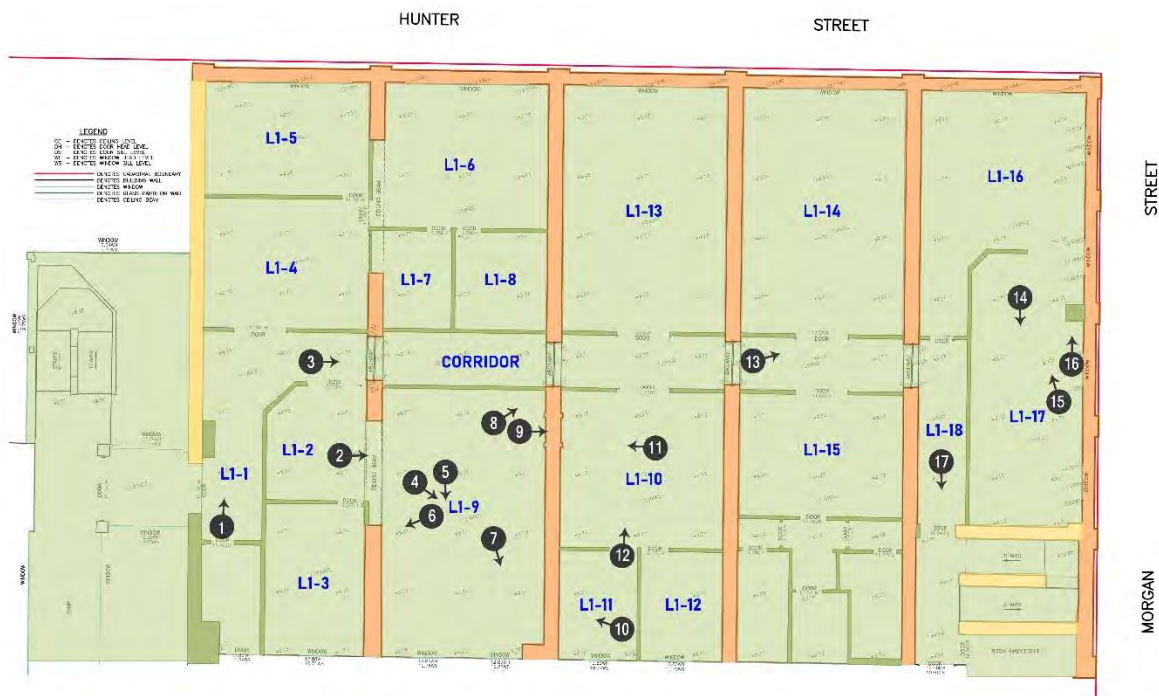
The floorplans of the Municipal Building have been provided below with annotations to correspond with the recent images of the internal spaces and allow for identification of the original structural elements as revealed from the damaged internal walls, flooring and ceiling cladding. The rooms included in the tables below follow the images taken rather than being all of the internal smaller rooms and are not sequential.

The tables below contain only the interiors of Levels 1 and 2 with the basement and ground floor not being included as no access gained hence no images provided. Notwithstanding, the conditions of the ground floor retail spaces and the basement, which runs only to the extent of eastern bay of the building along Morgan Street, are in poor condition with no significant original internal finishes remaining. The cross beams that are seen in the basement level as noted in the table below are not original and the building has no cross beams rather the structural frame is rectangular with the main internal masonry walls running perpendicular to Hunter Street façade in the south-north direction.

As evident from the images and condition assessment below, the interior of the building on both main commercial levels, have limited original fabric with essentially being the masonry structural walls, which have been mostly cut to create large openings either in arched form or rectangular with additional support beams inserted to connect the offices along the northern side of the building. Almost all of the spaces across Levels 1 and 2 have suspended ceilings with either fire-rated panels or Gyprock panels. Similarly, most of the masonry walls are also clad with metal framing. Where exposed by the damaged wall cladding, the masonry walls show evidence of ad-hoc style repairs and various materials filled-in.

Flooring throughout the building are, as seen from the exposed flooring, lightweight timber flooring with Masonite/or Plywood sheeting at the top and underside. None of the flooring appears to be in the traditional timber floor board construction with joists and ceiling beams. This somehow suggest that the floors/ceilings across the building may have been replaced/reconstructed at the time of the 1980s conversion.

The tables below precede with Level 1 and Level 2 floor plans respectively including their updated significance ranking based on the findings of the current condition assessment.






FABRIC SIGNIFICANCE GRADING
 Newcastle East End
 Blocks 3 & 4 - Level 1


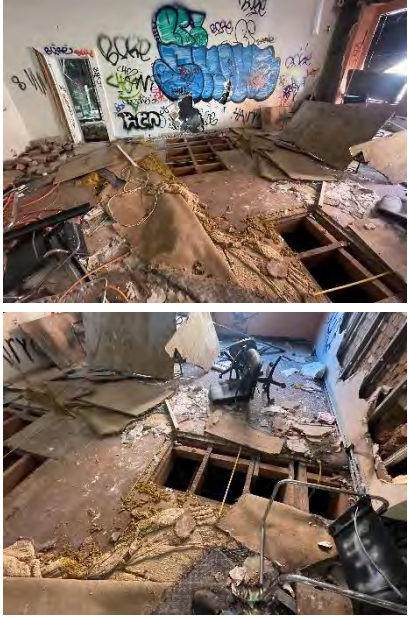
LEGEND




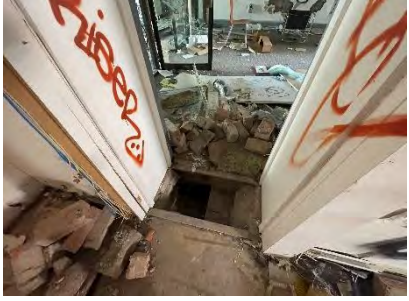
- High Significance
- Moderate Significance
- Little Significance
- Site Boundary
- Room Name


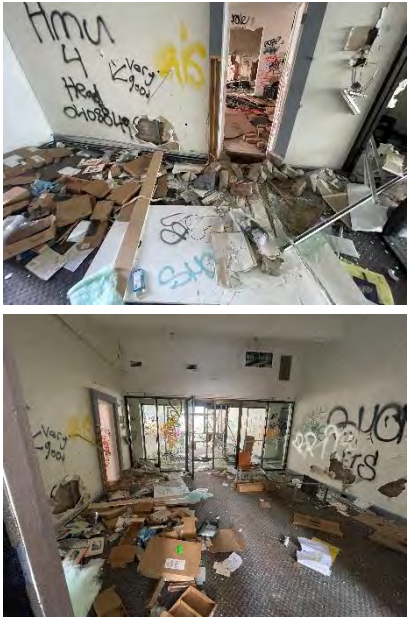
Note:
 This diagram shows indicative grades of significance for the building, building and internal spaces only. Individual elements in these spaces may be higher or lower significance as indicated in the table.
 The base plan for ranking plan has been provided by Hironaka & Hironaka Pty Ltd.





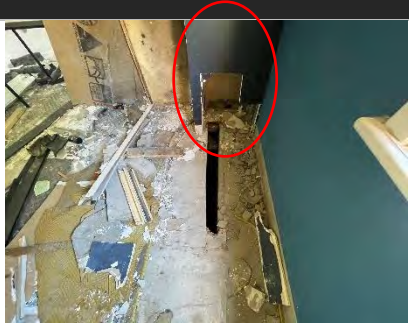
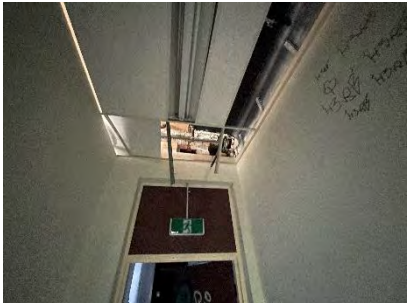
Element	Condition Description	Photo
LEVEL 1		
Room L1-1 Entrance hall	<p>Material: West wall is a reconstructed brick with the reminder of the walls to the east, south and north being lightweight partition walls. Floors are lightweight timber with Masonite/plywood sheeting and carpet finish. Ceiling is similar lightweight structure with fire-rated panels.</p> <p>Condition: In poor condition with claddings being teared off and metal partition wall framing being damaged. The nibs are hollow riser boxes.</p> <p>Similarly, the ceiling panels and floors are damaged in most areas</p>	 
Room L1-2	<p>Material: Walls are lightweight partition walls with east wall being masonry with large openings and glazed metal doors/partitions. Floors are lightweight timber with Masonite/plywood sheeting and carpet finish. Ceiling is similar lightweight structure with fire-rated panels.</p> <p>Condition: In poor condition with claddings being teared off and metal partition wall framing being damaged.</p> <p>Similarly, the ceiling panels and floors are damaged in most areas and pipes/cabling and ducting exposed/removed.</p>	

Element	Condition Description	Photo
Corridor (Looking east)	<p>Material: Walls are lightweight partition walls with east wall being masonry with large openings and glazed metal doors/partitions. Floors are lightweight timber with Masonite/plywood sheeting and carpet finish. Ceiling is similar lightweight structure with fire-rated panels. Arched way is a later opening with cladding over masonry wall</p> <p>Condition: In poor condition with claddings being teared off and metal partition wall framing being damaged.</p> <p>Similarly, the ceiling panels and floors are damaged in most areas and pipes/cabling and ducting exposed/removed.</p>	
Room L1-9	<p>Material: West and east walls masonry with rendered and painted finish. The west wall has a large opening. Remaining walls are lightweight partition walls with large openings and glazed metal doors/partitions. Floors are lightweight timber with Masonite/plywood sheeting and carpet finish. Ceiling is similar lightweight structure with fire-rated panels.</p> <p>Condition: In very poor condition with claddings being teared off and metal partition wall framing being damaged.</p> <p>Similarly, the ceiling panels and specially the floors are damaged in most areas and pipes/cabling and ducting exposed/removed.</p>	

Element	Condition Description	Photo
		
Room L1-9	Looking towards south wall also reconstructed wall or largely modified rear wall of the building	
Room L1-9	Looking towards east wall with a door opening. Note the removed bricks from the threshold area of the door opening. Floors are damaged and the architrave ripped off	
Room L1-9	Looking towards east wall door opening in detail - down to the ripped of threshold hole. Note the hollow section to the underside of the floors of Room L1-10. Floors are damaged and the architrave ripped off	

Element	Condition Description	Photo
Room L1-11	<p>Material: West wall is masonry with cladding finish. The east and north walls are glazed metal framed partition walls. The south wall is the reconstructed rear wall of the building. Floors are lightweight timber with Masonite/plywood sheeting. Ceiling is similar lightweight structure with fire-rated panels.</p> <p>Condition: In very poor condition with claddings being teared off and metal partition wall framing and glazing being damaged.</p> <p>Similarly, the ceiling panels and specially the floors are damaged in most areas and pipes/cabling and ducting exposed/removed.</p>	
Room L1-10	<p>Material: West and east walls masonry with cladding finish. Remaining walls are lightweight partition walls with large openings and glazed metal doors/partitions. Floors are lightweight timber with Masonite/plywood sheeting and carpet finish. Ceiling is similar lightweight structure with fire-rated panels.</p> <p>Condition: In poor condition with claddings being teared off and metal partition wall framing being damaged.</p> <p>Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling and ducting exposed/removed.</p>	

Element	Condition Description	Photo
Corridor - east end	<p>Material: All walls are lightweight partition and glazed walls with the exception of the arched wall opposite (east) is masonry with cladding finish. Floors are lightweight timber with Masonite/plywood sheeting and carpet finish. Ceiling is similar lightweight structure with fire-rated panels and ducting air circulation and mechanical systems.</p> <p>Condition: In poor condition with claddings being teared off and metal partition wall framing being damaged.</p> <p>Similarly, the ceiling panels and the floors are damaged and pipes/cabling and ducting exposed/removed.</p>	
Room L1-17	<p>Material: With the exception of east masonry wall with arched windows (facing Morgan Street) all remaining walls are lightweight partition walls with large openings. Floors are lightweight timber with Masonite/plywood sheeting and carpet finish. Ceiling is similar lightweight structure with fire-rated panels and ducting. Note the riser box appears to be a wall nib but it is revealed that an empty riser box, which are scattered around the floor levels of the building confirming that there are no cross-beams throughout the building. Only the beams over the walls running perpendicular to the Hunter Street provide the structural framing. Hence, the significance ranking plans have been amended accordingly in particular for the Basement level and where nibs were noted as being part of the main structural walls.</p> <p>Condition: In very poor condition with claddings being teared off and partition wall framing being damaged.</p> <p>Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling and ducting exposed/removed.</p>	

Element	Condition Description	Photo
		
Room L1-18 (corridor to escape/fire stairs)	<p>Material: With the exception of west masonry wall all remaining walls are lightweight partition walls leading towards the exit. Floors are lightweight timber with Masonite/plywood sheeting. Ceiling is similar lightweight structure with fire-rated panels and ducting. Note the exposed earlier ceiling panels with off-the shelf concave cornice exposed above the suspended ceiling frame indicating the sandwich type flooring, which is lightweight timber flooring with top and underside covered by Masonite/plywood panels.</p> <p>Condition: In poor condition with claddings being teared off and partition wall framing being damaged.</p> <p>Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling and ducting exposed/removed.</p>	



FABRIC SIGNIFICANCE GRADING


Newcastle East End Blocks 3 & 4 - Level 2



LEGEND



- High Significance
- Moderate Significance
- Little Significance
- Site Boundary
- Room Name



Note:
This diagram shows indicative grades of significance for the subject site, building and internal spaces only. Individual elements in these spaces may be higher (or lower) significance as indicated in the CMP.
The basis plan for ranking plan has been provided by Monmouth & Powsy Pty Ltd.







Element	Condition Description	Photo
LEVEL 2		
Room L2-3	Material: West, east and north (fronting Hunter Street) are masonry walls with two large arched openings appears to be created after the conversion of the building to commercial offices in the 1980s. The wall to the south is lightweight glazed partition. The west wall is a reconstructed wall as seen in Room L1- 1 above. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices	

Element	Condition Description	Photo
	<p>and Gyprock panels. Ducting is exposed and run throughout the northern side offices that are connected to each other by large arched/or square-cut openings.</p> <p>Condition: In very poor condition with claddings being teared off and partition wall framing being damaged. It is unclear what the stain falling down/rising up the arched wall is - part fire damage as the room nearby (L2-2) is fire damaged - see below.</p> <p>Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling and ducting exposed/removed.</p>	
Room L2-2	<p>Material: With the exception of east masonry wall all remaining walls are lightweight partition walls. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock panels.</p> <p>Condition: In a very poor condition with claddings being burnt down by fire and teared off with partition wall framing being damaged and glazing smashed. The whole space is</p> <p>Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling and ducting exposed/removed.</p>	
Room L2-7	<p>Material: West, east and south (rear elevation) are masonry walls with cut large openings also appear to be created after the conversion of the building to commercial offices in the 1980s. The wall to the north is lightweight glazed partition. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock panels. Ducting is exposed and run throughout the northern side offices that are connected to each other by large arched/or squared-cut openings.</p>	

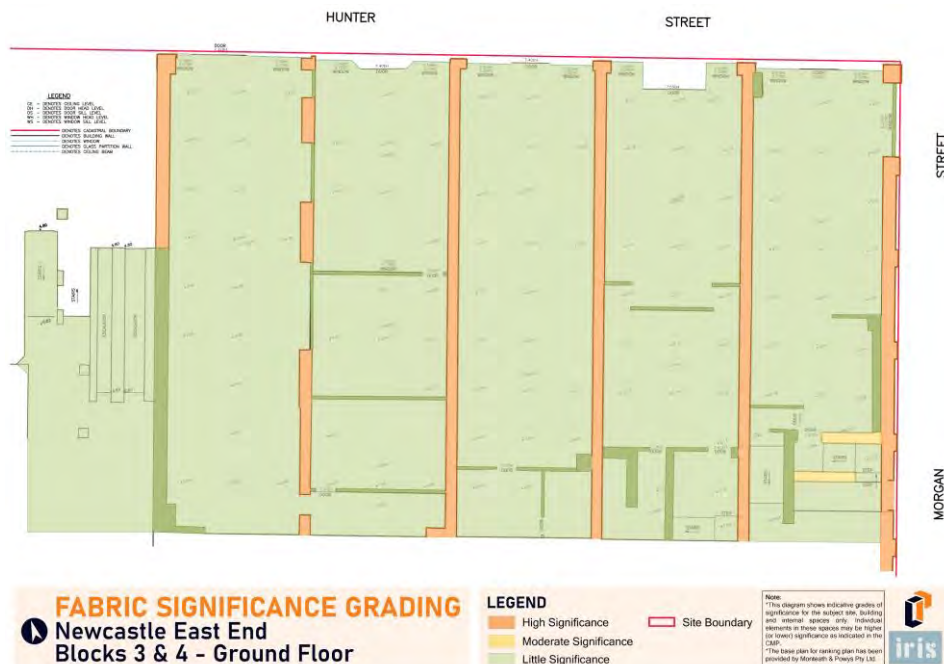
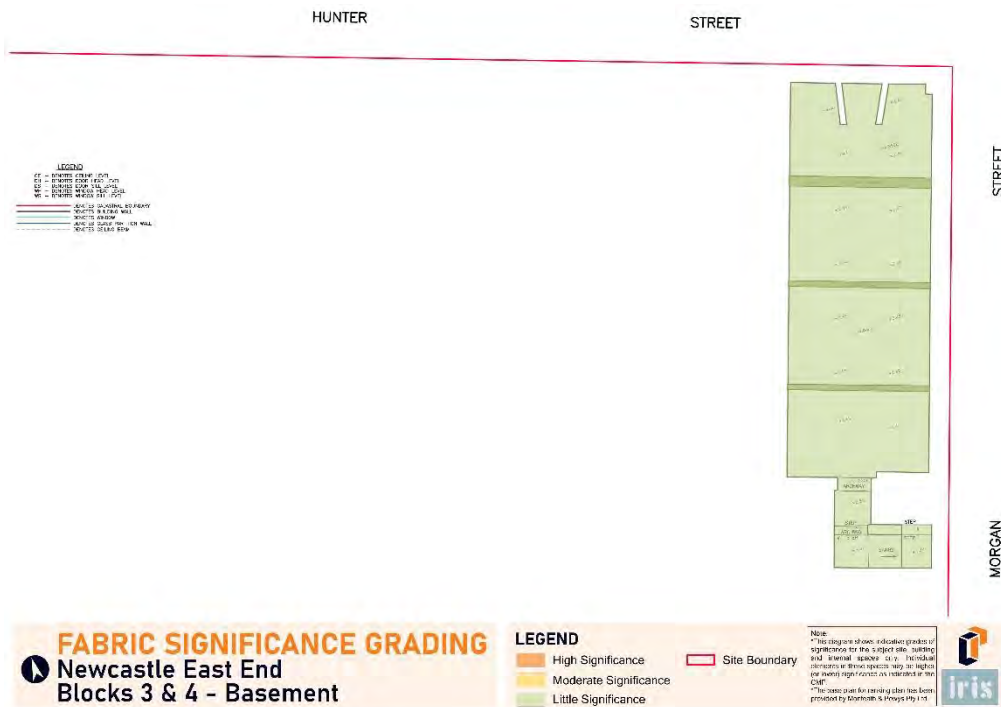
Element	Condition Description	Photo
	<p>Condition: In poor condition with claddings being teared off and partition wall framing being damaged. Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling and ducting exposed/removed within and beyond this space.</p>	
<p>Room L2-1 (entrance hall to Level 2)</p>	<p>Material: With the exception of east masonry wall , all remaining walls are lightweight glazed partitions. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock panels. Ducting is exposed and run throughout the northern side offices that are connected to each other by large arched openings.</p> <p>Condition: In very poor condition with claddings being teared off and partition wall framing being damaged.</p> <p>Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling and ducting exposed/removed. The image towards Room L2-1 shows the fire damaged space as noted above.</p>	
<p>Room L2-3</p>	<p>Material: West, east and north (fronting Hunter Street) are masonry walls with two large arched openings that were created after the conversion of the building to commercial offices in the 1980s. The west wall with glass block window is reconstructed wall as seen in Room L1- 1 above and the ripped off cladding hole to the right. The wall to the south is lightweight glazed partition. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock panels. Ducting is exposed and run throughout the</p>	

Element	Condition Description	Photo
	<p>northern side offices that are connected to each other by large arched openings.</p> <p>Condition: In very poor condition with claddings being torn off and partition wall framing being damaged. Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling exposed/removed.</p>	
Room L2-4	<p>Material: West, east and north (fronting Hunter Street) are masonry walls with large-cut openings that were created after the conversion of the building to commercial offices in the 1980s. Note the inserted narrower beam adjacent to the orange wall. The wall to the south is lightweight glazed partition. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock panels. Ducting is exposed and run throughout the northern side offices that are connected to each other by large arched openings.</p> <p>Condition: In fair condition with claddings to the adjoining connecting rooms being torn off and partition wall framing being damaged. Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling exposed/removed.</p>	

Element	Condition Description	Photo
Room L2-13	<p>Material: It is essentially the same space as above running parallel to Hunter Street frontage looking in the opposite west direction.</p> <p>West, east and north (fronting Hunter Street) are masonry walls with large arched/or cut openings that were created after the conversion of the building to commercial offices in the 1980s. The wall to the south is lightweight glazed partition. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock panels. Ducting is exposed and run throughout the northern side offices that are connected to each other by large arched openings.</p> <p>Condition: In very poor condition with claddings to the adjoining connecting rooms being torn off and partition wall framing being damaged. Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling exposed/removed.</p>	
Room L2-18 East corridor - escape pathway	<p>Material: With the exception of west masonry wall all remaining walls are lightweight glazed partitions. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock/ or fire-rated panels.</p> <p>Condition: In poor condition with claddings to the adjoining connecting rooms being torn off and partition wall framing being damaged. Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling exposed/removed.</p>	

Element	Condition Description	Photo
Room L2-17	<p>Material: With the exception of west and east masonry walls all remaining walls are lightweight glazed partitions. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock/ or fire-rated panels.</p> <p>Condition: In poor condition with claddings to the adjoining connecting rooms being teared off and partition wall framing being damaged. Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling exposed/removed.</p>	
Room L2-17	<p>Material: With the exception of west and east masonry walls all remaining walls are lightweight glazed partitions. Floors are lightweight timber with Masonite/plywood sheeting and plastic/lino finish. Ceiling is similar lightweight structure with off-shelf concave cornices and Gyprock/ or fire-rated panels.</p> <p>Condition: In poor condition with claddings to the adjoining connecting rooms being teared off and partition wall framing being damaged. Similarly, part of the ceiling panels and the floors are damaged and pipes/cabling exposed/removed.</p>	

Updated significance grading of Basement and Ground floor Levels of Municipal Building:



2. CONCLUSION

Based on the findings of the additional fabric survey and assessment of the current condition of the interiors of the building, it is confirmed that the original fabric across the interiors of the Municipal Building is limited to the remaining masonry walls with most of the walls being cut to a degree that lost its integrity especially on Level 2. Only portions of the masonry walls remain on both Level 1 and Level 2. The floors and ceilings are lightweight timber flooring with Masonite/plywood sheeting to the top and underside, which are considerably damaged by the recent vandal activities.

I trust the above additional condition assessment and updated significance grading of internal elements provided in this letter addendum in relation to heritage matters will satisfy the requirements of the City of Newcastle and will assist in finalisation of the assessment of the proposed development at Newcastle East End Stages 3 & 4 under the DA2023/00419 that is currently before the Council.

Should you have any questions or wish to discuss the matter further, please do not hesitate to contact me on 02 8270 3500 / 0414 421 035 or at kerimed@cityplan.com.au.

Yours Sincerely,



Kerime Danis
Director - Heritage

24 January 2024

Our Ref: H-22001

Damien Jaeger
City of Newcastle
PO Box 489
NEWCASTLE NSW 2300
djaeger@ncc.nsw.gov.au

Dear Damien,

**RE: RESPONSE FOR REQUEST INFORMATION (RFI) - HERITAGE MATTERS
121 HUNTER STREET STAGES 3 & 4 - DA2023/00419**

This letter has been prepared in response to the Request for Further Information (RFI) issued by the City of Newcastle (CN) by email on 23 December 2023 regarding the Development Application (DA) DA2023/00419 relating to Stages 3 and 4 East End of the development at 121 Hunter Street, Newcastle. This letter specifically addresses the 'Heritage matters' raised in the above noted RFI letter and discussed at the in-person meeting(s) held at the NC's offices on Thursday, 18 January 2024.

The 'Heritage matters' included in the subject RFI are quoted below to assist in easy referencing and correlation with the response for each heritage concern accordingly.

2 Heritage matters

- A. The following aspects of Building 4N should be reconsidered to minimise the appearance of facadism and promote greater integrity of the existing streetscape:*
- (i) The proposed almost zero setback detracts from the human scale of Hunter Street and should be significantly increased. Balconies behind the façade over-emphasise the nature of the proposed facadism and could be replaced with internal rooms (with existing windows retained) to create the illusion of depth.*
 - (ii) The heritage façade of 105 Hunter Street would be better treated with a contrasting finish to the new addition behind.*
 - (iii) The application contains conflicting information as the design statement notes that the existing lift and lift shaft are being removed to facilitate the new residential building, however the demolition plan notes that the lift car is to be retained and featured in the new building. Clarification is required in this regard. It is recommended that the lift car and shaft are both retained as they are identified as elements of exceptional significance in the CMP.*
 - (iv) Remove the proposed holes cut into the parapet of 105 Hunter Street.*
 - (v) Clarify whether the lift/lift shaft of 105 Hunter Street (identified as exceptional significance in the CMP) is being retained.*

RESPONSE

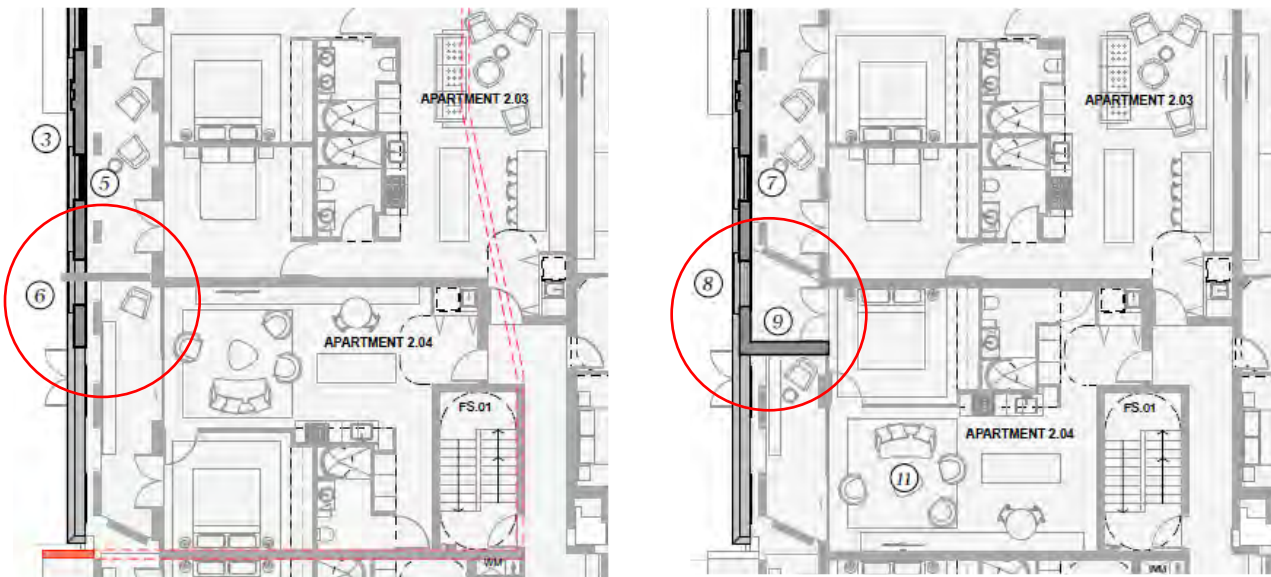
While there are a number of heritage matters noted in the above quoted list, which were confirmed during the in-person meeting with Council's Development Officer (Heritage) and later reiterated at the workshop with the Council's Development Officers, the only outstanding heritage matters relate to the setback and façade edges of Building 4N.

The proposed design for Building 4N has been further amended in line with the discussions and comments received from the Council's Development Officer (Heritage) at the 18 January meeting. The further developed for Building 4N can be summarised as below (refer to full plans & elevations in Attachment A):

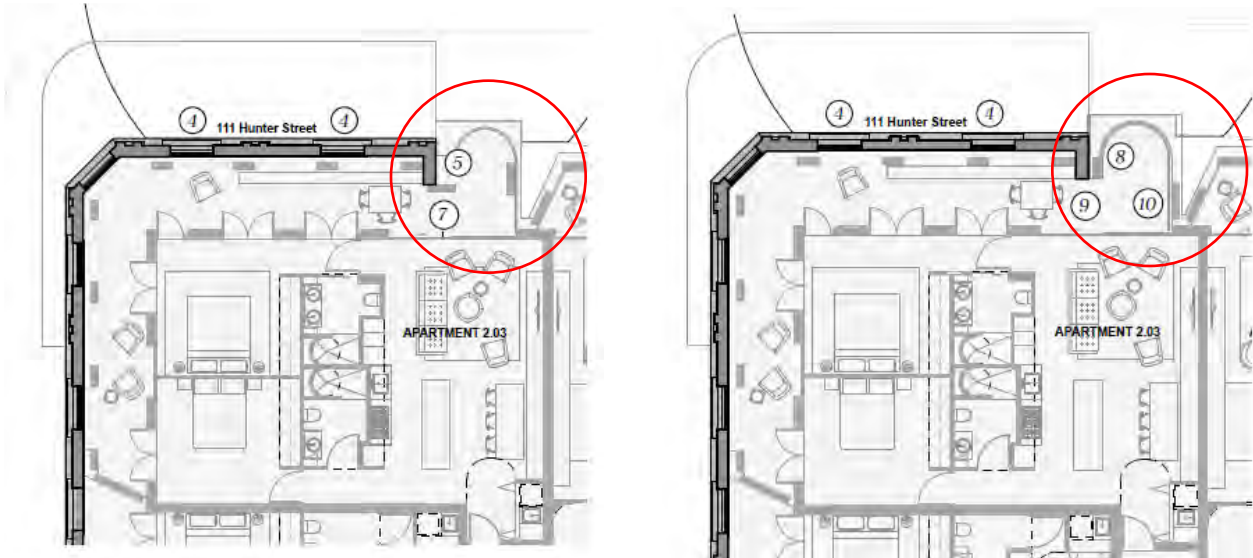
- It maintains extent of return wall to 111 Hunter Street (refer to annotated plan excerpts below).
- Additionally returns ground floor extent of 111 Hunter Street, further emphasising depth at public domain.
- Due to loss of amenity to primary balcony of unit 2.03 along Hunter Street façade, the column to east of balcony has been pushed back to the main building line and aligns above and below for structural adequacy. This further amendment, in fact, opens up views to the façade of 111 Hunter Street building, which has never been exposed previously.
- 111 Hunter Street return wall sleeves behind rotated column maintaining three-dimensional appearance to 111 Hunter Street.
- The rotated column maintains alignment to ground floor party wall (between entry and C.02 - retail) allowing barrier free entry for occupants of 4N.

As presented and discussed at the meeting and subsequent workshop, the amended design allows for the retention of the return walls at both Hunter Street and Morgan Street elevations of 111 Hunter Street maintaining its three-dimensional appearance harmonising the existing Contributory façade with the infill buildings on both sides and the new residential addition above. The amended design for the building edges adequately respond to the heritage concerns raised in this regard.

Plan excerpts for Morgan Street façade return amendment (left submitted DA - right amended design)



Plan excerpts for Hunter Street façade return amendment (left presented at the workshop - right further amended design)



Comparative elevations showing the submitted DA design (left) and amended design (right) for Morgan Street elevation respectively. The protruding element from the window has been removed (blue circle) and the three-dimensional wall maintained (red circle).



Comparative elevations showing the amended design presented at the Workshop (left) and the further amended design for Hunter Street elevation respectively. Three-dimensional wall, which has never been exposed before is slightly modified (red circle), and structural column pushed back opening up views further to the historic façade of 111 Hunter Street (blue circle)



B View impact details (Heritage Aspects)

In terms of the previous issues it is understood that a response to view impacts is forthcoming.

RESPONSE

This matter has been dealt by Urbis in a staged manner, and therefore reference should be made to the submitted information accordingly.

C Building 4S is also adjacent to a listed heritage item, 'Retaining Walls and Sandstone Steps' (NLEP Item 477). The application proposes to demolish part of the heritage item on the northern side of King Street adjacent to Building 4S to level the footpath. The existing retaining walls and steps are evidence of the characteristic topography of The Hill and City Centre and should be retained. In this respect it is noted that the white ordinance fence is also to be maintained along the top of the wall but may require reconstruction in association with the provision of new footway paving.

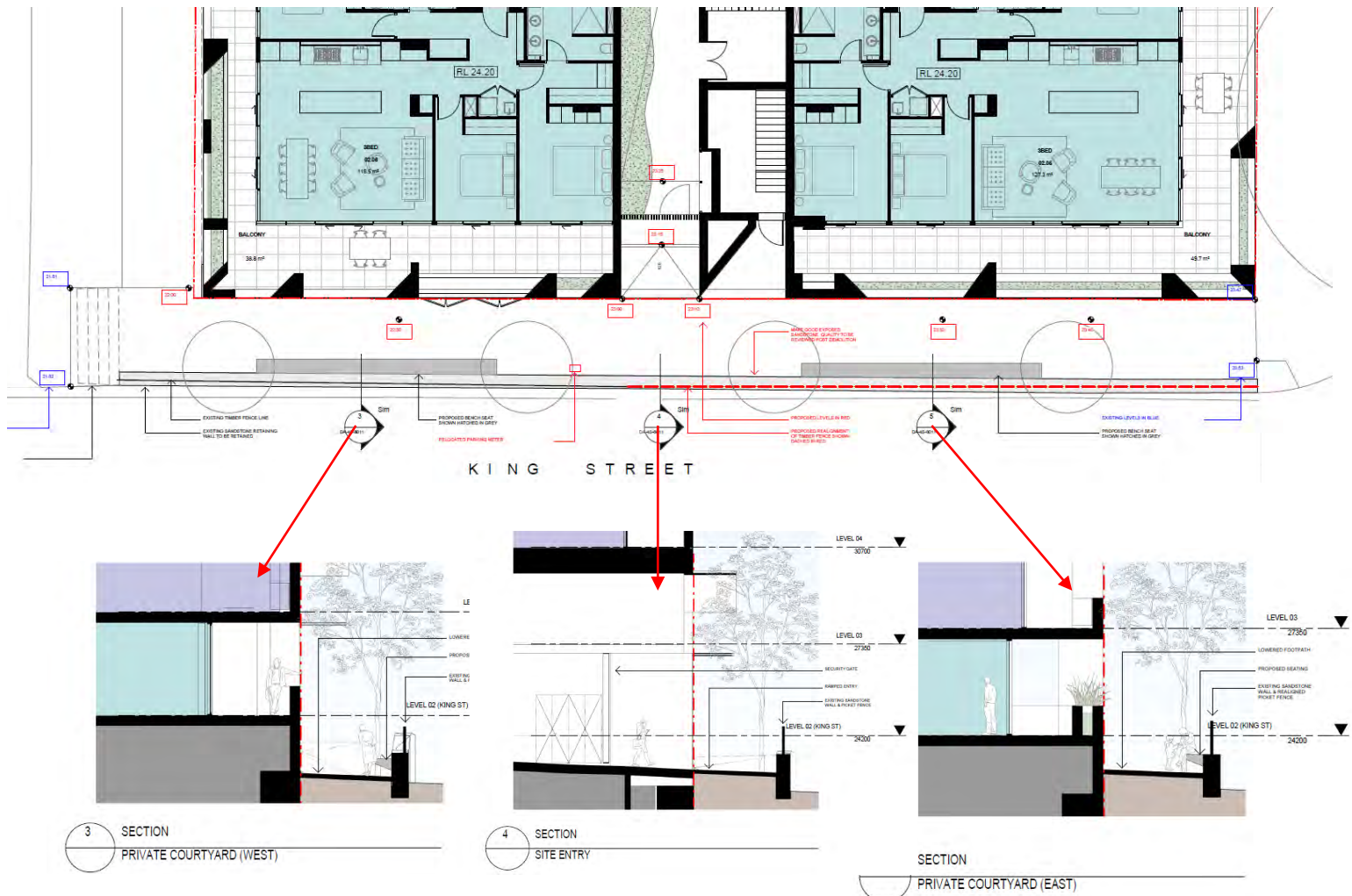
RESPONSE

As discussed at the in-person meeting and reiterated at the Workshop on Thursday, 18 January 2024, the existing stone retaining wall along King Street is now retained and the plans have been amended accordingly. The footpath between the stonewall and the new Building 4S has been retained as proposed

to allow an accessible footpath. The treatment of the cut-off side of the stone retaining wall and the levels have been detailed in the amended plans and cross sections provided by SJB Architects (see excerpts below and full drawing sheet in Attachments).

The existing steps at the lower end of the footpath as proposed in the submitted DA will still be demolished to create a ramp behind the stone retaining wall. The cut-off side of the stonewall will be made good with the details of this scope to be finalised following removal of the existing footpath/infill behind the retaining stonewall. Two bench seats are to be provided at the front of the building entries behind the retaining stonewall.

The existing timber fence is retained and made good with slight realignment to suit the new arrangements across the footpath behind the retaining stonewall. The amended design and treatment will ensure the preservation of the heritage item 'Retaining Walls and Sandstone Steps' (NLEP Item 477).



CONCLUSION

I trust the above additional design refinements and response in relation to the remaining outstanding heritage matters will satisfy the requirements of the City of Newcastle and will assist in finalisation of the assessment of the proposed development at Newcastle East End Stages 3 & 4 under the DA2023/00419 that is currently before the Council.

Should you have any questions or wish to discuss the matter further, please do not hesitate to contact me on 02 8270 3500 / 0414 421 035 or at kerimed@cityplan.com.au.

Yours Sincerely,



Kerime Danis
Director - Heritage

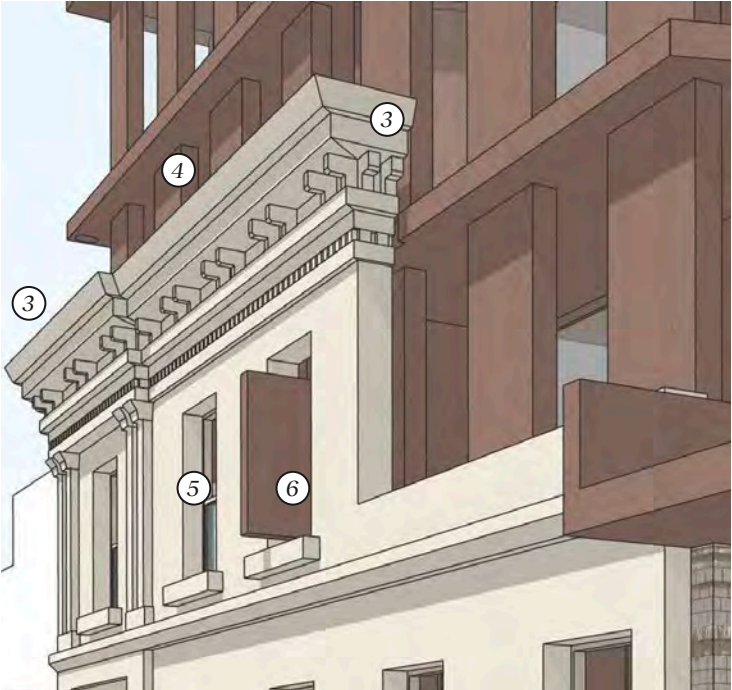
Attachments:

- *Amended Building 4N plans (3 sheets)*
- *Amended stone retaining wall retention (1 sheet)*

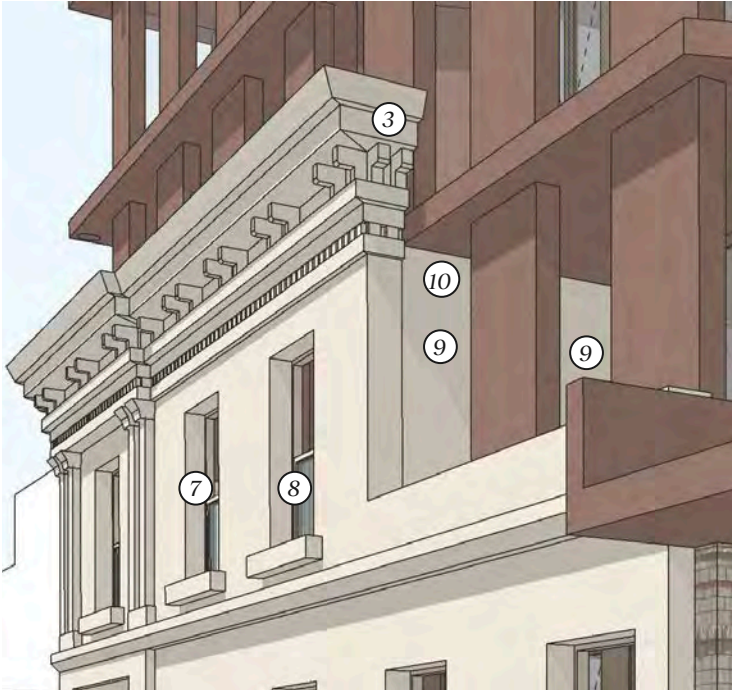
Building 4N



111 Hunter Street - Existing (viewed from Morgan Street)



111 Hunter Street - DA Submitted (viewed from Morgan Street)



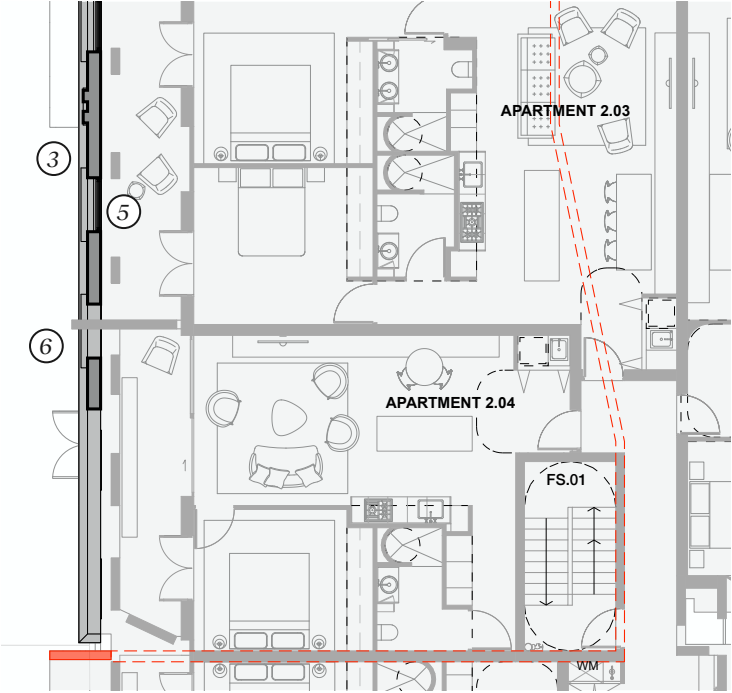
111 Hunter Street - RFI Amended (viewed from Morgan Street)



105 - 111 Hunter Street - Infill building

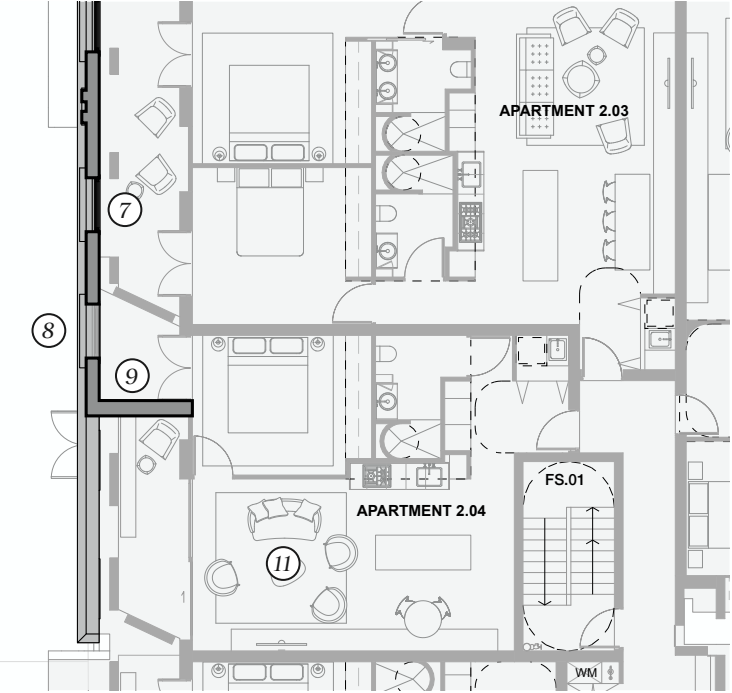
DA Submitted (31.03 2023)

1. The existing facade acts as frontispiece to the simple structure (facades) behind. The current condition primarily expresses the facade only.
2. Existing perpendicular walls behind facade are primarily blank an in poor condition
3. Existing facades (frontispiece), including decorative parapets and returns are maintained.
4. The new vertical additions over and adjacent are behind the existing parapets. A horizontal break between new and old and the setback to the principle building envelope over, provides deep shadow and contrast to the existing building and breaks up the building scale
5. Operable windows maintained
6. Privacy wall between apartments



Option Presented at workshop (19.01 2024)

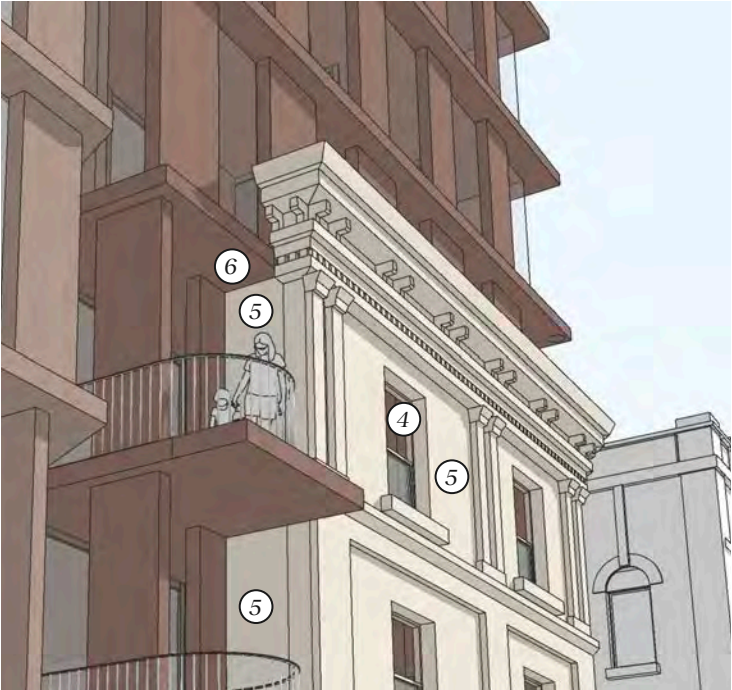
7. Operable windows refurbished and retained.
8. Privacy wall protusion removed. Operable window refurbished and retained
9. The existing facade (frontispiece), including decorative parapets are maintained. The return is reinstated to rear of 111 Hunter Street to the proposed new main building line, giving the appearance that the existing building has depth. This is consistent with the approach undertaken to 105 Hunter Street.
10. The height of the return matches the existing building which has the parapet extending beyond this height.
11. Apartment flipped to achieve unobstructed balcony adjacent primary living area. Reduced principle balcony area (m2)



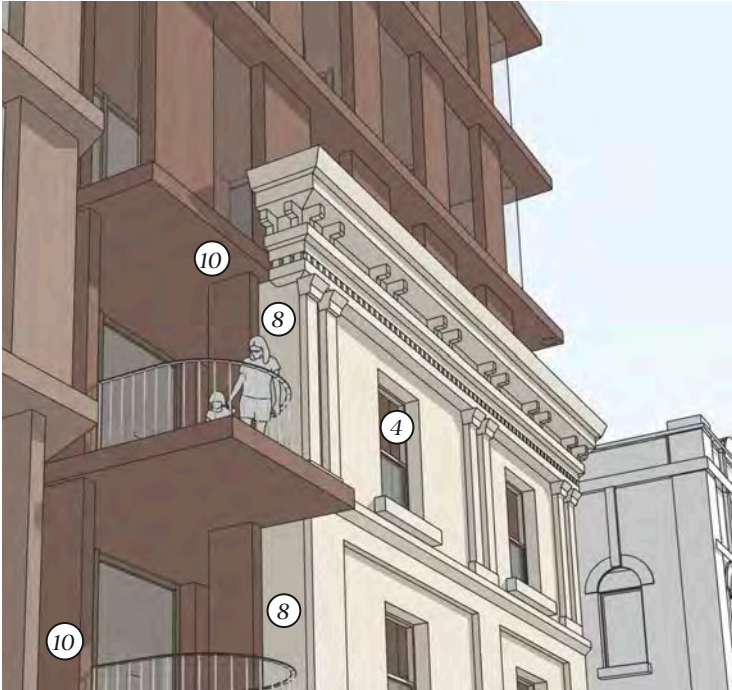
Building 4N



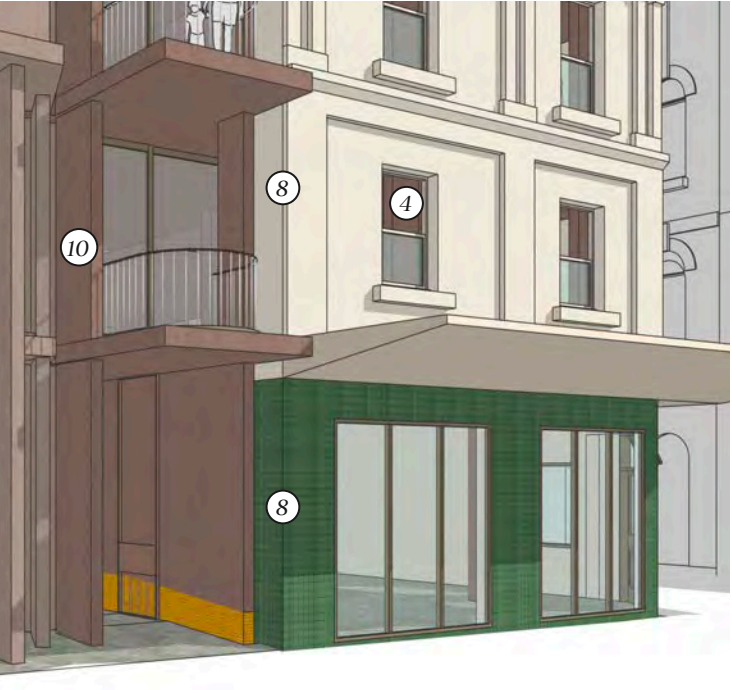
111 Hunter Street - Existing (viewed from Hunter Street)



111 Hunter Street - viewed from Hunter Street
* Worst case scenario (view)



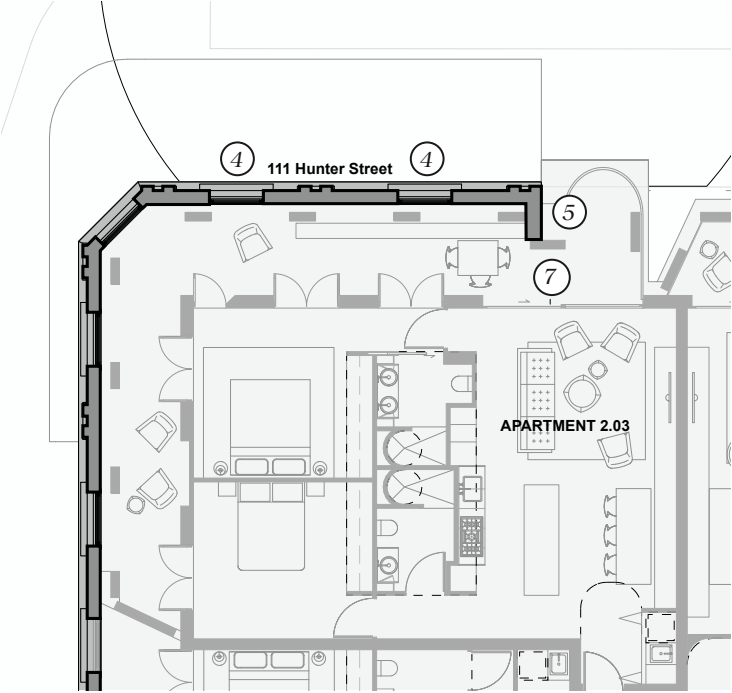
111 Hunter Street - viewed from Hunter Street



111 Hunter Street - Entrance viewed from Hunter Street

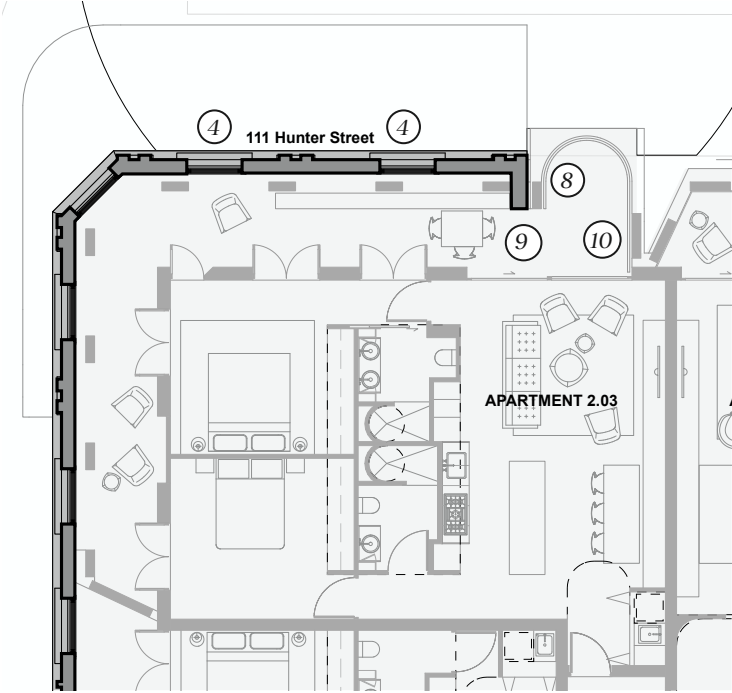
Option presented at workshop (19.01 2024)

1. The existing facade acts as frontispiece to simple structure beyond. The current decorative facade and parapet extends above the existing party wall and returns to depth of facade only - emphasising the facade
2. Existing party walls behind frontispiece are visibly lower than the parapet and designed to be built up to (concealed)
3. Adjacent facade abuts 105 Hunter Street
4. Operable windows refurbished and retained.
5. The existing facade, including decorative parapets are maintained. The return is reinstated to rear of the facade to the proposed new column, giving the appearance that the existing building is three-dimensional.
6. The height of the return is consistent with the existing building with the parapet extending beyond this height.
7. The amenity of the principle balcony area of apartment 2.03 is impacted.



Adjustments post workshop (24.01 2024)

8. The existing facade (111 Hunter Street), including decorative parapets are maintained. The returns length is retained and sleeves behind a new column pulled back from the edge giving the appearance that the existing building has depth. This is consistent with the approach undertaken to 105 Hunter Street.
The column aligns and extends to the ground floor historic tenancy wall further emphasising building depth whilst also maintaining a barrier free entry to Buiding 4N.
9. The impact to the amenity of the principle balcony area of apartment 2.03 is reduced.
10. The adjacent column is pulled back, increasing the amenity of the balconies of units 1.01 and 2.03 and providing structural support to the upper floors.



Building 4N



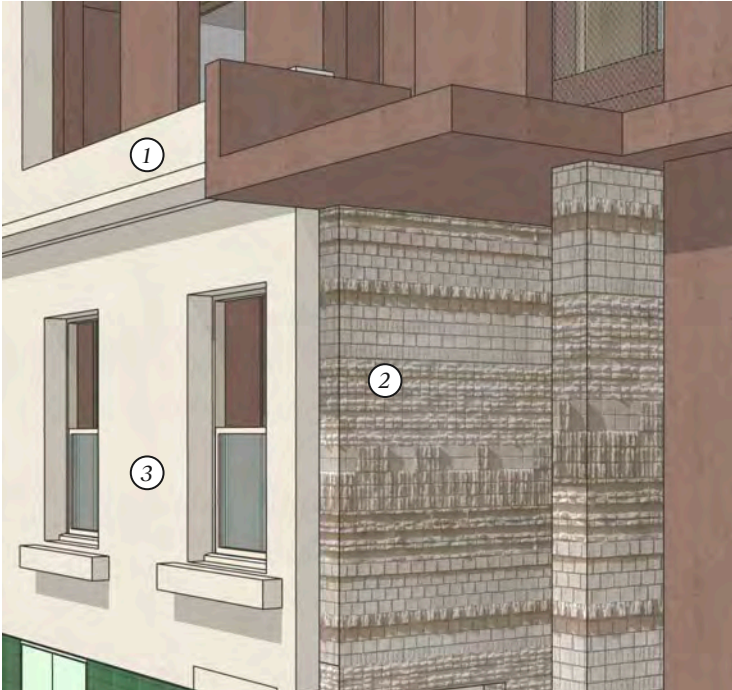
105 Hunter Street - Existing



105 Hunter Street - Proposed



111 Hunter Street - Existing (viewed from Morgan Street)



111 not generate undue changes to the existing fabric that cannot

DA Submitted (31.03 2023)

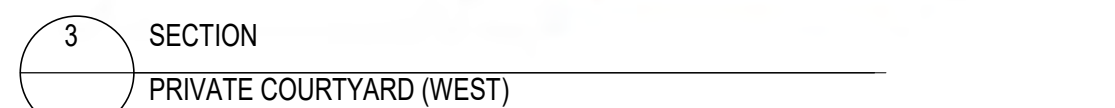
- 1. A existing street frontispiece exists with simple structure beyond. Only minor decorative facade elements return.
- 2. Existing large blank party wall condition.
- 3. Corbeled ledge conceals majority of existing parapet

- 1. Decorative parapet return maintained
- 2. Existing party wall on existing lot arrangement is maintained to depth of “room” to emphasise building depth. New infill separated to highlight the decorative parapet feature.
- 3. Operable windows maintained
- 4. Corbeled ledge conceals minor change to parapet from street.

DA Submitted (31.03 2023)

- 1. A existing street frontispiece exists with simple structure beyond. Only minor decorative facade elements return.
- 2. Existing large blank party wall condition.
- 3. Existing operable windows

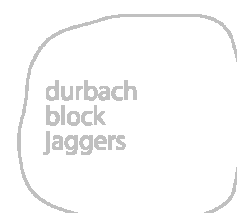
- 1. Decorative parapet and return maintained (concealed from this view)
- 2. New walls to infill building about the existing historic facades enclosing the facade edges maintaining the “room” depth. Decorative parapets returns are maintained.
- 3. Operable windows maintained

[illegible]

Presinct + Building 3W + 4S

SJB Architects

Level 2, 490 Crown St
Sunny Hills NSW
2010 Australia
T 61 2 9380 9911
sjb.com.au



SCALE 1 : 100

Project

Newcastle East End Stage 3 & 4

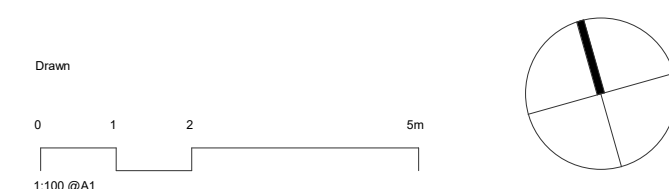
SCALE 1 : 100

Hunter, Morgan, Newcomen, King
Streets NEWCASTLE NSW 2300

Country: AWABAKAL

Drawing Name

KING STREET LEVELS



Date	Scale	Sheet Size
23.01.2024	1 : 100	@ A1
Drawn:	CHK.	Revision
RY	WG	1
Job No.	SCALE 1:100 DRAWING NO.	
6668	DA-4S-8011	

10 September 2024

Our Ref: H-22001

Elle Durrant
Senior Development Officer (Planning)
City of Newcastle
PO Box 489
NEWCASTLE NSW 2300
edurrant@ncc.nsw.gov.au

Dear Elle,

**RE: ADDENDUM TO HERITAGE IMPACT STATEMENT (HIS), DATED APRIL 2023, IN RESPONSE TO
REQUEST FOR ADDITIONAL INFORMATION - HERITAGE MATTERS
NEWCASTLE EAST END STAGES 3 & 4 - RE2024/00002**

This addendum has been prepared in response to the request for additional information issued by the City of Newcastle (CN) on 20 August 2024 regarding the Section 8.2(1) Review of MA2023/00175 - Concept Development Application relating to Stages 3 and 4 East End of the development at 105, 109, 111 & 121 Hunter Street, 3 Morgan Street, 22 Newcomen Street, and 66-74 King Street in Newcastle. This addendum to the previous HIS (City Plan Heritage, April 2023) specifically addresses the 'Heritage matters' raised in the above noted RFI letter.

The 'Heritage matters' included in the subject RFI are quoted below to assist in easy referencing:

1. Heritage

The Hunter Central Coast Regional Planning Panel (HCCRPP) has requested the application address any impacts that the proposed development may have upon the curtilage of the Christ Church Cathedral, noting the surrounds of the site form part of the local and state heritage listings.

Greater consideration of potential heritage impacts is therefore required, pursuant to Clause 5.10(4) of the Newcastle Local Environmental Plan 2012 (NLEP 2012).

It has been amended following the site visit with the Regional Planning Panel on Monday, 2nd September 2024 in order to assess the additional view analysis/photomontages undertaken by Urbis as requested by the City of Newcastle's view consultant.

In summary the following addendum concludes that:

- The proposed modification including the redistributed scale and mass of the Concept DA envelopes will have marginal change in a positive way due to the opportunity of creating the 'Harbour to Cathedral' visual corridor and link that was not available in the Concept DA.

- The Concept DA was completely blocking the views to the Cathedral from the Harbour along Market Street.
- **The** State and local heritage values of the Cathedral as being an extraordinary piece of architecture in a most dramatic setting, providing evidence of the early town planning of Newcastle city centre, and its visual dominance defining its city skyline will be respected and preserved while significantly enhancing its appreciation as a landmark through the 'Harbour to Cathedral' visual corridor This follows the central axis seen in Dangar's 1823 plan.
- Additional view corridor has also been created through tapering the new building (3W) to open a new view corridor from the corner of Thorn Street, which did not exist to date.
- Creation of these additional and significant view corridors were made possible by the demolition of the Council car park and by the redistribution of the mass and scale to the other parts of the NEE Stages 3 & 4. Considering the positive and enhanced benefits to the heritage context and State level significance of the Cathedral having marginally increased height and scale towards the north of the Cathedral is an acceptable compromise.
- The foreground of the Rest Park was already partially blocked under the Concept DA and the slight increased obscureness does not adversely affect the dominance and landmark qualities of the Cathedral.
- The relatively smaller footprint of Building 3S and its tapering form allows the building moves more quickly through the sky as one moves around the site. Furthermore, the building continues to diminish as it gets taller to open up the view to the Cathedral more quickly than otherwise larger/latter block form as it was under the Concept DA.
- The eastern end of the city is built on and into the hill, with existing buildings vary in height, scale and proportion. This forms an undulating urban fabric especially when viewed from a distance across the Harbour.
- By adopting a playful skyline, the proposed buildings blend in and are disguised within the pre-existing assembled urban fabric. They are complementary to the cityscape rather than competing with it. The 3S tower adds to the memorable silhouette of Newcastle, although always subservient to the profile of the Cathedral.
- The distance between the Cathedral and the closest Buildings 3S and 4S, which are separated by King Street and the Rest Park coupled with the Cathedral being at the south end of the grounds at the top of the hill, allows for an appropriate buffer zone for the appreciation of the landmark qualities and dominant presentation of the Cathedral across the close public domain and at distant views and vistas.
- The height of the Amended DA design is an appropriate one in the highly constrained setting of the NEE Stages 3 & 4 for the reasons noted and discussed in this addendum.
- Review of the additional view analysis from Stockton Park (views VPA & VPB) as requested by the Council's view consultant, it is acknowledged that the view to the Cathedral will be obscured more than the concept DA mass; however, the tower and central nave remain unobscured. Notwithstanding, this obscureness occurs for a short distance along the park then improves with more open views when one moves towards the ferry wharf. The viewpoints from the park, which are requested by the Council's view consultant, are random and not one of the viewpoints identified in the Newcastle DCP, and also were not considered as part of the Concept DA assessment. As such, the conclusion of the addendum HIS remains the same in that the increased height and re-distribution of mass in comparison with the benefit gained from the creation of new visual corridors to the Cathedral that were not possible under the

concept DA creates an acceptable compromise from a heritage perspective. The important views that are identified in the DCP are being enhanced under the amended DA.

RESPONSE

In addressing the requirement of the HCCRPP under Clause 5.10(4) of the LEP consideration will need to be given to a few aspects as detailed below. Clause 5.10(4) is extracted below:

*(4) **Effect of proposed development on heritage significance** The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).*

The following key aspects will be considered in order to establish the effect of the proposed development on the heritage significance of the Christ Church Cathedral

1. the established heritage curtilage for the Christ Church Cathedral both physically and visually as identified in its local and State heritage listing forms and maps,
2. statements of significance for both local and State listing
3. views and setting of the Cathedral historically (overtime)
4. visual analysis from various view corridors and comparison of views between the Concept DA and the MOD designs; and
5. Concerns on overcrowding of the Cathedral and grounds' curtilage

Each of the above noted aspects will be discussed in detail on the following pages.

1. The established heritage curtilage for the Christ Church Cathedral both physically and visually as identified in its local and State heritage listing forms and maps

The inventory forms for the local (Item # I562) and State (SHR # 01858) heritage listings of the Christ Church Cathedral under the *Newcastle Local Environmental Plan (LEP) 2012* and the *NSW Heritage Act 1977* respectively establishes the heritage curtilage of the Cathedral as its allotment boundaries and defines it in the heritage maps accordingly. The subject LEP heritage map (sheet HER_004K) and the SHR plan have been provided below for reference. It is clear that the LEP curtilage and SHR curtilage cover different allotments associated with the Cathedral. While the SHR curtilage extends across the cemetery to the north allotment, the LEP curtilage includes the cemetery under separate listing (Part 3 of Schedule 5) as an archaeological site and the allotment of the Cathedral under Heritage Items (Part 1 of Schedule 5).

The inventory form for the local heritage listing notes the name of the item as " Christ Church Cathedral, Park and Cemetery" with its curtilage as " Follows property boundary, see image no. 9 for curtilage". It should be noted that the readily available inventory form for local heritage listing as provided in the State Heritage Inventory (SHI) Database does not include any images; and therefore it is anticipated that the curtilage is the same as it is defined on the Newcastle LEP 2012 heritage map copied below. Another point to clarify is that the LEP listing refers to Lot 3 of DP 36886 as the allotment listed as a heritage item but the subject allotment on which the Cathedral building is described as being Lot 3 of DP 1149011 in the records held by the NSW Land and Property Services, suggesting that the DP for the subject allotment has been

changed since the LEP listing is updated. The SHR listing plan refers to the current Lot/DP as being of Lot 3 DP 1149011 (Cathedral) and Lot 1 DP 36886 (Cemetery).

There is no known or readily available Conservation Management Plan for the Cathedral although there have been a number of archaeological assessments, a Cathedral Master Plan and a conference paper¹ on the repairs works following the 1989 earthquake. While one of the archaeological reports (AMAC, *Cathedral Rest Park Final archaeological report*, April 2014) and the above noted conference paper provide some conservation policy recommendations they are not directly relate to the curtilage or setting of the Cathedral. Similarly, the Cathedral Park Master Plan (adopted in July 2012) does not provide a curtilage but includes view corridors with reference to the DCP City East view corridor map (then Element 6.2 & Map 13). The view corridors have been discussed under the third consideration point further in this addendum letter.

Based on the statutory LEP and SHR listing curtilages of the Cathedral, its physical curtilage is confirmed as being of the allotment boundaries as defined under the State heritage listing Lot 3 DP 1149011 (Cathedral) and Lot 1 DP 36886 (Cemetery) - see the SHR plan in Figure 2 below.

There will be no impact on the physical curtilage of the Christ Church Cathedral by the stages 3 & 4 development. Notwithstanding, the visual curtilage extends beyond the allotment boundaries of which has been discussed under the remainder of the consideration points below.



Figure1: (Above) LEP heritage listing curtilage for the Cathedral (item I562) as defined in the heritage map (Source: Newcastle LEP 2012 map HER_004K)

¹ B.J. (Barney) Collins, J.W. (Bill) Jordan (December 2009) "Earthquake Newcastle NSW" presented at the Australian Earthquake Engineering Conference, Newcastle, NSW. Figure 2: (Right) SHR curtilage plan incorporating both the Cathedral & Cemetery allotments (Source: Heritage NSW, SHR listing form)



2. Statements of significance for both local and State listing

The following Statements of Significance have been quoted from the State and local heritage inventory form of the Christ Church Cathedral in order to understand what has been considered being significant in terms of views and vistas as well as the setting of the Cathedral. Sentences relevant to the visual curtilage have been highlighted in red.

State Heritage Register - SHR # 01858

Christ Church Cathedral with its moveable collection, park and cemetery is historically significant because of its origins in early convict history and the establishment of the Anglican Church in New South Wales.

*The Cathedral is associated with a number of prominent architects, churchmen and government officials during the nineteenth century. John Horbury Hunt's 1868 plans exemplify Arts & Crafts principles - using bricks rather than stone for structural and decorative purposes. It is the largest of the cathedrals designed by Horbury Hunt, the largest Anglican cathedral in New South Wales, the largest provincial Anglican cathedral in Australia and **an extraordinary piece of architecture in a most dramatic setting**. Its collection of stained glass is outstanding in both state and nation for its size and quality.*

Technically, the German-developed Cintec system of strengthening masonry by insertion of a combination of an anchor of stainless steel rods and controlled grouting was pioneered in Australia in repairs to the Cathedral after the 1989 earthquake.

The Cathedral's moveable collection contains many unique or rare items memorialising those who served in war, especially World War I. It includes fittings and ecclesiastical items of exceptional quality as well as the state's only Victoria Cross not in private ownership and the nation's only surviving Union Jack flown by Australian soldiers throughout the Gallipoli campaign. The Cathedral is a place of pilgrimage for veterans, their families, friends and descendants, from all around Australia.

The rest park was one of the earliest European burial grounds established in New South Wales, pre-dating Christ Church. It is the site of convict burials and provides significant evidence of changing burial customs during the nineteenth century. Sections of footings from the original Christ Church beneath the Cathedral's floor, were recorded and left undisturbed during the restoration works of 1995-97, to facilitate further investigation.

The Cathedral grounds and former cemetery have retained the same basic size and shape set out in Henry Dangar's original 1823 town plan, providing evidence of early town planning.

While it is not included in the Statement of Significance above, the SHR form includes the following under Criterion C (Aesthetic Significance) of the assessment criteria:

... It has landmark qualities, having dominated and defined the Newcastle skyline for many years. The form, scale, colour, texture and materials of the fabric combine to present a piece of extraordinary architecture in a most dramatic setting.

LEP SHI form (Item no. I562)

*Christ Church Cathedral, Park and Cemetery are historically and aesthetically significant at state level. The Cathedral is the largest of the Cathedrals designed by one of Australia's most influential architects, John Horbury-Hunt. **It visually dominates Newcastle's city centre and defines its skyline. It is situated on top of Church Hill and the city has been mapped out around it.** The story of the construction and development of the Cathedral is interwoven with the establishment and growth of Newcastle into NSW's second largest city. Its level of significance is reflected by the number of prominent individuals who have visited the Cathedral. These have included various Governors of NSW, Bob Hawke when he was Prime Minister, Governor Generals, Archbishops of Sydney as well as Archbishops of Canterbury and York.*

The cemetery, which is now also a rest park, is historically significant at a state level because it was one of the earliest European burial sites to be established in NSW and one of the few that remain undeveloped and accessible. The history of the site reflects the changing social burial customs in NSW during the 19th century. The site itself has a long, continuous association with Australia's religious history, being the site of one of the earliest churches and European burial grounds in Australia.

As seen in the above Statements of Significance the visual curtilage of the Christ Church Cathedral is its location at the ridgetop of The Hill and its dominance over the skyline of Newcastle City Centre. None of the identified historical, aesthetic, landscape setting or being the *largest of the cathedrals designed by Horbury Hunt, the largest Anglican cathedral in New South Wales, the largest provincial Anglican cathedral in Australia and an extraordinary piece of architecture* values will be affected by the amended design and scale of the Newcastle East End Stages 3 & 4. Similarly, the *basic size and shape* of the Cathedral that is *set out in Henry Dangar's original 1823 town plan* will not be affected by the current proposed layout and form of the NEE Stage 3 & 4 development. It will remain in providing evidence of the early town planning for Newcastle city centre.

The main consideration here is - whether the amended redistribution of building mass across the site to accommodate the City of Newcastle's long held desire to create a link from 'Harbour to Cathedral' will have any adverse impact on the Cathedral's most dramatic setting or its visual dominance of the Newcastle's city centre as well as role in defining its skyline.

The likely impact of the proposed development on the above visual heritage values of the Cathedral can be explored and tested through the analysis of the historical setting of the Cathedral overtime and visual analysis from various view corridors and comparison of views between the mass of the Concept DA and the current MOD design.

In addition to the State and local statements of significance, while strictly not related to the Cathedral building itself, consideration will need to be made to the values identified in the *Cathedral Park Master Plan* (City of Newcastle, 2012). The Master Plan defines the Park as "Uniquely Newcastle" as below:

With its historical significance dating back to the city's origins, its setting overlooking the harbour and adjacent to Christ Church Cathedral, Cathedral Park has the potential to provide a unique experience for locals and visitors alike.

The Conservation Policy (Master Plan p.28) for retention and enhancement of visual links notes "Retain and enhance visual links Identify and remove trees of lower retention value which detract from the view corridor of the city and harbour." Similarly, the design of the endorsed Master Plan (p.14), which is copied below (Figure 3), provides for viewing areas and memorial pathway from the entrance of the Cathedral down to the King Street entry of the Rest Park. The key viewing area and the memorial pathway are, essentially at the axis of the 'Harbour to Cathedral' link that was possible to be created under the MOD design and redistribution of the building mass/heights across NEE Stages 3 & 4. This link will enhance the **dramatic setting** of the Cathedral by putting it into the centre of the visual frame when looking up from the Harbour along Market Street and its extension towards King Street. The landmark qualities of the Christ Church Cathedral will not be detrimentally affected as evident from the photomontages and visual analysis undertaken by Urbis.

The playful skyline of the new buildings within the NEE Stages 3 & 4, including the free-standing retention of the Municipal Building and incorporation of the contributory buildings with the new additions behind and above, remain well below the porch and the tower of the Cathedral. As such, the Cathedral remains as a landmark dominating and defining the Newcastle skyline.

The proposed development would not prevent the delivery of the Master Plan rather it would, in fact, strengthen its design objectives detailed on page 15 of the Plan.

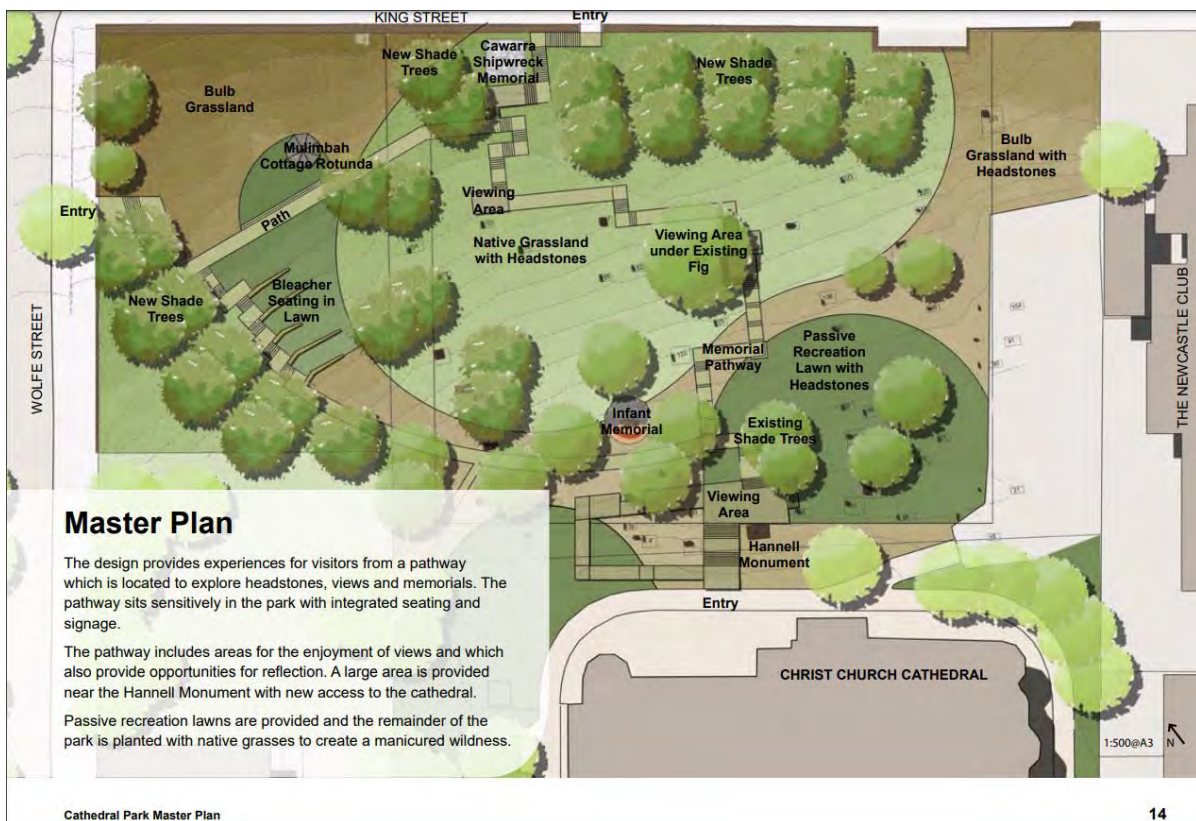


Figure 3: Endorsed Master Plan for Cathedral Park showing the viewing areas and memorial pathway between the entry to the Christ Church Cathedral and the Park entry along King Street. This view corridor essentially will coincide with the 'Harbour to Cathedral' link that is proposed under the current MOD. (Source: City of Newcastle, 2012, available online at <https://newcastle.nsw.gov.au/getmedia/7CB18D3F-A884-4403-BE87-0CF78B9829C9/Cathedral-Park-Master-Plan-low-res-for-web.pdf>)

3. Views and setting of the Cathedral historically (changes overtime)

In order to understand the historical importance of the Cathedral it is necessary to look into the historical development of Block 3 of NEE, in particular. It is evident from the original layout of Newcastle, the Henry Dangar's 1823 plan, the Church grounds and market place were placed at the central axis of the then King's Town. By 1887 the town centre including the buildings on both sides of Hunter Street were well developed with the allotment allocated for the Market Place being occupied by the Borough Market building, a two-storey Victorian Gothic revival with two turrets at either side and a central decorative pediment (Figure 5).

In 1916 the Borough Market building was demolished to make way for the development of the Strand Theatre (Figure 6), a billiard hall, shops and offices, that were later demolished in 1979 to make way for the redevelopment of the Market Square. The Market Square shopping centre was built on the site of the Strand Theatre in 1980 and was opened by NSW Premier Neville Wran. The works included the construction of a steel pedestrian bridge between the Hunter Street Mall and Queens Wharf to the north². As can be seen from the images provided below, all taken from the mid-section of the current Market Street towards the Cathedral, visibility of the Cathedral in a south direction was nil until the demolition of the Strand Theatre in 1979 and before it was blocked again by the Market Square shopping centre. Distant views to the top of the nave's pediment and the tower were available depending on how far north the image was taken from.

The proposed 'Harbour to Cathedral' link under the current design of the NEE Stages 3 & 4, the original 1823 plan with a direct visual link from the harbourfront to the Cathedral will be reinstated. This is considered as a significant achievement that could be made possible through the redistribution of the building mass across the site, which was not possible under the Concept Plan.

² Scanlon, Mike, "Change and the city of Newcastle," 8 January 2016 accessed 5 April 2017 via <http://www.theherald.com.au/story/3647883/city-of-great-change/>

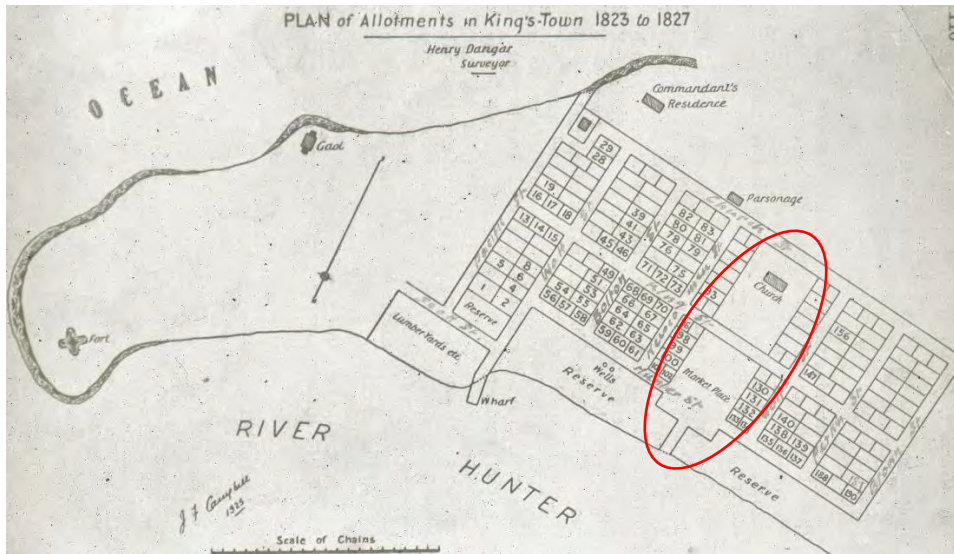


Figure 4: Dangar's plan of Newcastle, NSW, 1823 (1823), [A5194-001.5]. Living Histories, accessed 26/08/2024, <https://livinghistories.newcastle.edu.au/nodes/view/11251>



Figure 5: Photograph of the Borough Market building dating from c.1887, photograph taken by Ralph Snowball who had a studio in the building. (Source: University of Newcastle Cultural Collections, accessed 5 April 2017 via <https://www.flickr.com/photos/uon/3964536525/in/photostream/>)





Figure 7: Images of the Cathedral above the Council car park following demolition of the Strand Theatre and prior to the construction of the Market Square shopping centre (left); and during to the demolition of the Council car park taken by the undersigned. (Source to the left image: Scanlon, Mike, "Change and the city of Newcastle," 8 January 2016 accessed 5 April 2017 via <http://www.theherald.com.au/story/3647883/city-of-great-change/>)

4. Visual analysis from various view corridors and comparison of views between the Concept DA and the MOD designs (Consistency with the original Concept DA heritage principles)

The original Concept DA site & context analysis and design principles for heritage established a number of views and vistas as well as heritage overlay/advice on the retention and treatment/adaptive reuse of the heritage items and contributory buildings across the four blocks of the NEE development under the then co-ownership of GPT and UrbanGrowth NSW. In order to assess the likely impacts of the proposed current MOD design it is important to undertake comparative illustrative analysis to determine the level of impact and whether such impact is an acceptable one or not. The Visual Impact Analysis photomontages by Urbis have been used as applicable in this section. The key views identified in the Concept DA site analysis have been cross-referenced with the Newcastle Development Control Plan (DCP) 2023 Views and Vistas map (Figure E5.13 in Section E5 Newcastle city centre - Part 16.0). The table below indicates the cross-referencing for easy navigation between the two documents, and the Urbis VIA report.

As can be seen from the comparative analysis of the Concept DA and the MOD design mass provided on the next pages (Table 1) the identified views and vistas from various landmark sites and vantage points will remain essentially the same with only marginal increase in obscuring at close distance public domain views in terms of being within the setting or front ground of the Cathedral grounds. The landmark heritage values and defining the skyline of the Newcastle city centre associated with the Christ Church Cathedral will be maintained and preserved.

There will be no detrimental impact on the established and identified views and vistas under the Newcastle DCP 2023 Figure E5.13 and the Concept DA heritage analysis and principles.

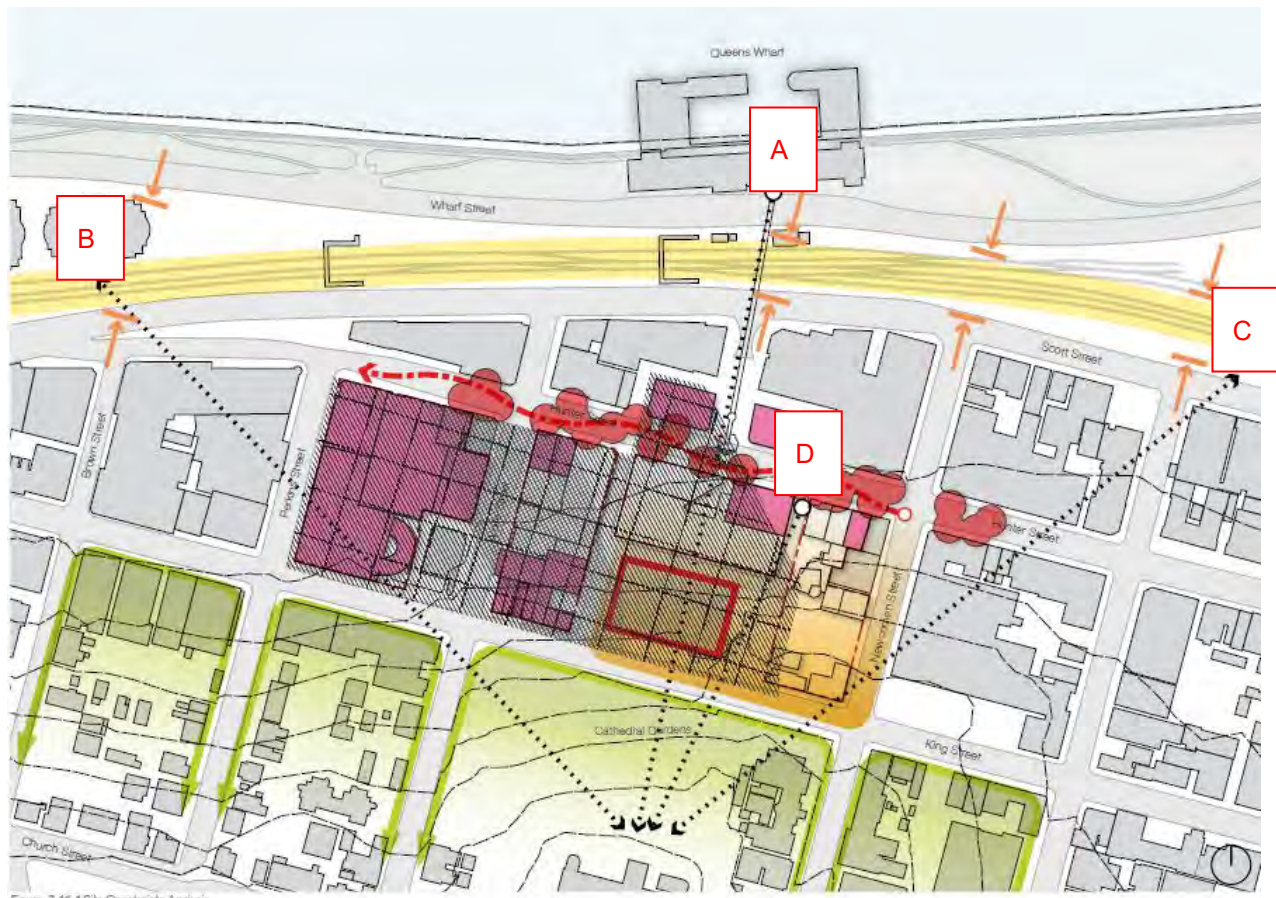








Figure 8: Views and vistas identified in the original Concept DA in 2015 (above). Views associated with the Cathedral as identified under the

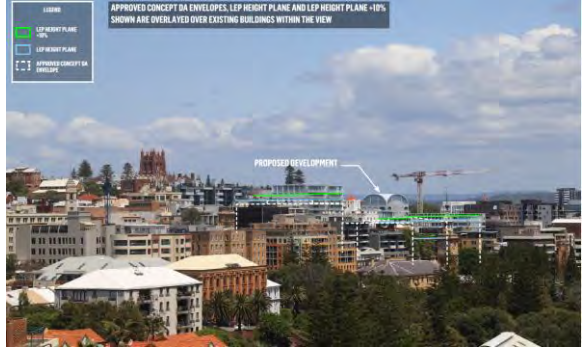

Table 1: Comparative analysis of views between the Concept DA, DCP views & MOD design (see Urbis VIA for full scale)

Concept DA analysis	Newcastle DCP 2023	Photomontage (Urbis VIA report - April 2023)
A - CBD from Queens Wharf	15 - Wharf Road to Market Street	 <p>Discussion:</p> <p>As explored under Point 3 above the close public view corridor to the Cathedral were not available until the demolition of the Market Square shopping centre and the buildings that occupied the Hunter Street Mall frontage of the site - terminating Market Street on the south. The proposed MOD provides an opportunity to create the clear unobstructed view corridor 'Harbour to Cathedral' link as desired by the Council. This link will reinstate the visual axis that was included in Dangar's 1823 plan of Newcastle. As noted earlier, this is a significant improvement and enhancement to the views towards the cathedral that were long not available along the public</p>

Concept DA analysis	Newcastle DCP 2023	Photomontage (Urbis VIA report - April 2023)
		domain, rather the upper section of the nave and the tower were visible from the distant views.
B - Perkins Street to Cathedral	N/A - no views identified from this direction	 <p>Discussion:</p> <p>While the Concept DA analysis identifies a view corridor from the corner of Perkins Street towards the Cathedral there is no clear view towards the cathedral currently. The buildings along Hunter Street do not allow any visual glimpse to the Cathedral.</p>
View from the corner of Hunter Street Mall & Thorn Street to the Cathedral	N/A	 <p>Discussion:</p> <p>View from the corner of Hunter Street Mall and Thorn Street towards the Cathedral and grounds was not available as seen in the above Google Street view taken prior to the demolition of the Council car park. Hence, they were not included in the DCP 2023 key views map. The current design/orientation of the new building at this corner (3W) has been specifically tapered in southeast direction opening up views to the Cathedral as seen in the below photomontage.</p>

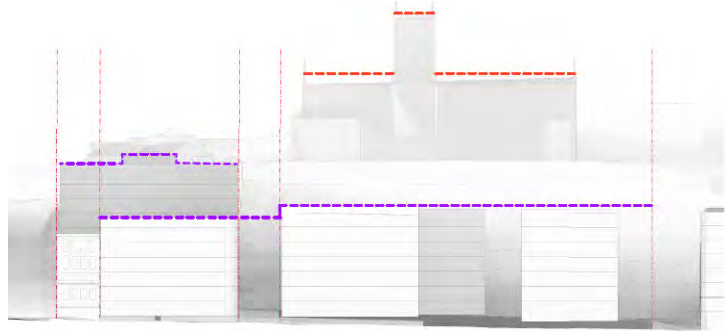
Concept DA analysis	Newcastle DCP 2023	Photomontage (Urbis VIA report - April 2023)
		Cathedral's views in this direction. The views are preserved from the Nobby's.
D - from Cnr Hunter and Morgan Streets	17 - Hunter Street Mall - cnr Morgan Street	 <p>Discussion:</p> <p>The views to the Cathedral from the corner of Hunter Street Mall and Morgan Street will remain almost the same. The new building (3S) at the back of the Municipal Building will be slightly setback from Morgan Street then the existing rear addition of the Municipal Building, which will be demolished under the proposal.</p>

Concept DA analysis	Newcastle DCP 2023	Photomontage (Urbis VIA report - April 2023)
N/A	15 - Wharf Road to Market Street	 <p><i>Amended DA</i></p>
 <p><i>Concept DA</i></p>		<p>Discussion:</p> <p>As noted under Concept DA view 'A' above, the views to the Cathedral were not available from this direction (see the photomontage to the left). The Concept DA would completely be blocking the views to the Cathedral as evident here and above. Re-distribution of the building mass across the site by taking the opportunity of the Council's car park's demolition, which was not in consideration at the time of the Concept DA, allowed for the creation of a new view corridor 'Harbour to Cathedral' link. This view corridor will provide improved dominance and dramatic setting of the Cathedral and as such enhancing its State level heritage values.</p>

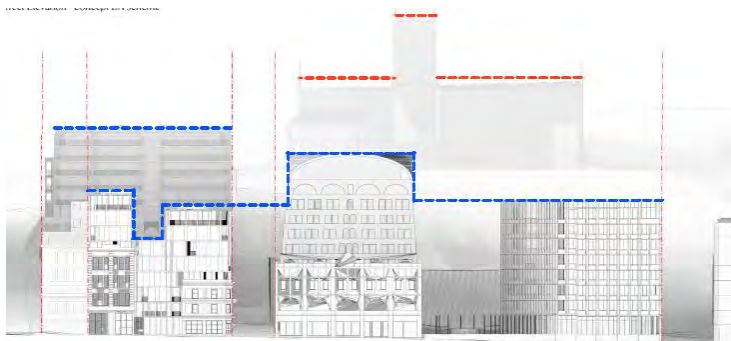
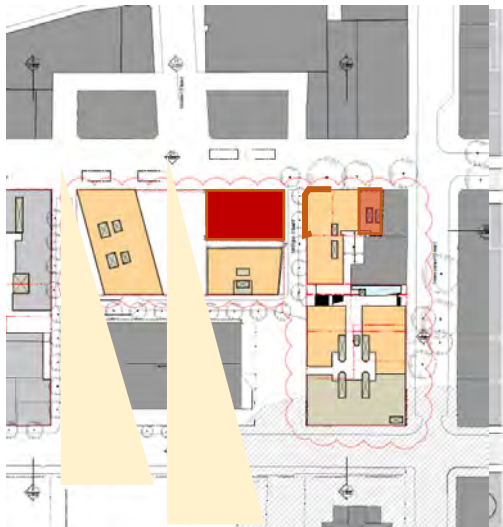
Concept DA analysis	Newcastle DCP 2023	Photomontage (Urbis VIA report - April 2023)
N/A	20 - Parade Ground, Fort Scratchley	 <p>Discussion:</p> <p>Views from Fort Scratchley Parade Grounds to the Cathedral will not be affected by the proposed MOD design. The height of the development is clearly below the key elements (nave & Tower) of the Cathedral and as such maintains its dominant setting at the backdrop of the new development.</p>
N/A	21 - Stockton Ferry Wharf	 <p>Discussion:</p> <p>Similar to the views from Fort Scratchley, the views from Stockton Ferry towards the Cathedral will not be adversely affected. Only lower part of the rest park will be marginally obscured, which was already blocked in the Concept DA. The new development will sit side-by-side to the east of the Cathedral but at a lower scale preserving the dominance and defining the skyline of Newcastle city centre. The Tower and the entire Cathedral including the upper parts of the rest park remains unblocked.</p>

5. Concerns on overcrowding of the cathedral and grounds' curtilage

Concept DA



Amended DA



Discussion:

It is understood that there have been concerns on cluttering the curtilage of the Cathedral and its grounds due to the amended DA and increased height at the southern portion of Blocks 3 and 4. In order to discuss

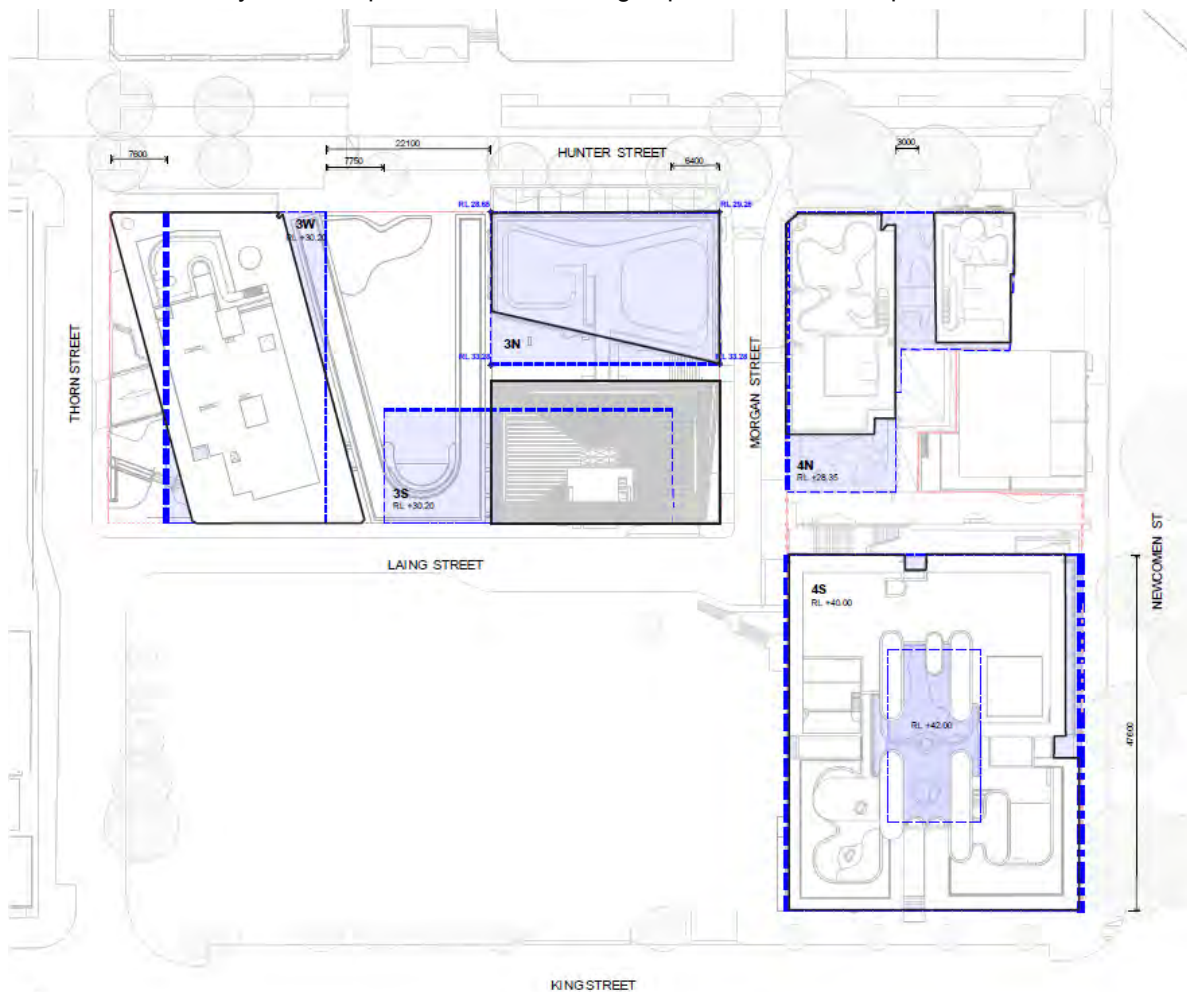
the differences between the Concept DA and the Amended DA it is worth to look back to the *Heritage Design Principles* of the Concept DA of which have been implemented and further improved under the Amended DA as explained throughout the April 2023 SOHI and this addendum. The key principles of the Concept DA were:

- *Heritage Retention + Fabric:* Comparison of the heritage retention plan included above indicates the consistency with the Concept DA fabric retention, which included the Municipal building as a whole and façade of 105 Hunter Street. The Amended DA retains additional fabric including the Municipal Building as a whole and 105 and 109 Hunter Street. The Concept DA had a vertical addition above the Municipal building while the Amended DA allows for the Municipal Building as a stand-alone building with no vertical addition for appreciation of its full scale across Hunter Street Mall and from public domain wherever it can be seen. Additional fabric retention with no additions over the Municipal Building is a significant improvement from the Concept DA in relation to heritage matters within the City Centre HCA.
- *Holding the Street:* The Amended DA maintains this urban design principle and further improves it through holding the corner of Thorn and Hunter Streets whereas the Concept DA had building 3W setback from Thorn Street to the east to align with the Council's car park - changing the original street wall pattern of the city centre layout. The Amended DA brings back Building 3W to the corner then tapers it in southeast direction to open views up towards the Cathedral. Another positive aspect of the Amended DA in relation to heritage matters.
- *Topography + Skyline:* The Amended DA successfully utilises the topography of the development site and creates a playful skyline unlike the Concept DA, which had almost all buildings at the same height with only Building 4S being elevated. The redistribution of the height and mass across the site taking advantage of the demolition of the Council car park allowed for further enhancement of the playful skyline of the competition scheme that responds to the playful skyline silhouette of the Cathedral behind.
- *Cathedral Views:* As evident from the comparative photomontages and elevations provided in this addendum, and the Architects' combined response to the concerns, the Amended DA has created more views towards the Cathedral than the Concept DA had. This is particularly important at 'Harbour to Cathedral' link and views from the corner of Thorn and Hunter Streets both of which were not available under the Concept DA. Creation of these additional and significant view corridors, which are identified in the DCP as being of important views, were made possible by the demolition of the Council car park and by the redistribution of the mass and scale to the other parts of the NEE Stages 3 & 4. Considering the positive and enhanced benefits to the heritage context and State level significance of the Cathedral having marginally increased height and scale towards the north of the Cathedral is an acceptable compromise from a heritage point of view. The foreground of the Rest Park was already partially obscured under the Concept DA and the slight increased obscureness does not adversely affect the dominance and landmark qualities of the Cathedral. This is also evident from the additional view analysis - while acknowledging two oblique views from Stockton Park would be obscured under the amended DA more than that of the Concept DA; the dominance of the tower and the nave pediment remains. It should be noted that the requested viewpoints are random and are not identified in the DCP as being of important views and also were not considered during the assessment of the Concept DA. Furthermore, as one moves towards the ferry wharf the views to the Cathedral open up due to the relocation of the mass that was obscuring the Cathedral from the front along Queens Wharf

public domain under the Concept DA. The important views that are identified in the DCP are being enhanced under the amended DA.

- **Market Square:** This aspect of the Amended DA, as envisaged from the competition design phase, is a significant improvement to the Concept DA due to opening up a view
- **Grain + Activation:** It is apparent that the Amended DA is consistent and further improvement in utilisation of various grain and activation across Blocks 3 and 4 continuing the connection and principles successfully implemented within Stages 1 and 2 of the NEE development.

In addition to the above considerations, the footprint of both the Concept DA and the proposed amended DA have been overlayed to compare the overcrowding aspects of the development.



Overlay of Concept DA (blue) and Amended DA layout across Blocks 3 and 4 (Source: Urbis Briefing)

It is worth noting that Building 3S has a relatively smaller footprint and as such the building moves more quickly through the sky as one moves around the site. The tapering form of Building 3S continues to diminish as it gets taller to open up the view to the Cathedral more quickly than an otherwise larger/latter block form as it was under the Concept DA. This allows the building mass to shift more quickly across the skyline and minimises the impact on the Cathedral when viewing from a distance.

Although Building 3S is purposefully a tower form, the building incrementally steps back and tapers at each level to allow for unexpected views to the Cathedral and the Park that would otherwise not be evident in the approved Concept DA massing when viewed at a pedestrian scale moving around the site within close proximity.

Another aspect is that the eastern part of the city is built on and into the hill, with existing buildings vary in height, scale and proportion. This forms an undulating urban fabric especially when viewed from a distance across the Harbour.

By adopting a playful skyline, the proposed buildings blend in and are disguised within the pre-existing assembled urban fabric. They are complementary to the cityscape rather than competing with it. The 3S tower adds to the memorable silhouette of Newcastle, although always subservient to the profile of the Cathedral.

The distance between the Cathedral and the closest Buildings 3S and 4S, which are separated by King Street and the Rest Park coupled with the Cathedral being at the south end of the grounds at the top of the hill allows for appropriate buffer zone for the appreciation of the landmark qualities and dominant presentation of the Cathedral across the close public domain and at distant views and vistas.

Based on the above and more detailed responses provided in the Architects' and Urbis documentation, it is considered that the Amended DA is a far more successful response to the constraints of Blocks 3 and 4 of the NEE development, taking advantage of the opportunities offered by the site and its heritage context while applying the heritage design principles in collaboration with 'designing with Country' principles.

CONCLUSION

In conclusion, as evident from the key aspects that have been considered in this addendum to the Heritage Impact Statement (CPH, April 2023) the proposed MOD design including the redistributed scale and mass of the Concept DA envelopes will have marginal change in a positive way. This is because the MOD provides an opportunity for the creation of the 'Harbour to Cathedral' visual corridor and link that was not available in the Concept DA. In fact, the Concept DA was completely blocking the views to the Cathedral from the harbour along Market Street.

The State and local heritage values of the Cathedral as being an extraordinary piece of architecture in a most dramatic setting, providing evidence of the early town planning of Newcastle city centre, and its visual dominance defining its city skyline will be respected and preserved while significantly enhancing its appreciation as a landmark through the 'Harbour to Cathedral' visual corridor. This is also a reflection of the central north-south axis seen in Dangar's 1823 plan.

The marginal obscuration of views and vistas in some viewpoints, which are not necessarily being identified as significant views in the Concept DA or the Newcastle DCP 2023, are considered an acceptable

compromise in relation to heritage matters. The height of the MOD design is an appropriate one in the highly constrained setting of the NEE Stages 3 & 4 for the reasons noted and discussed in this addendum.

I trust the above addendum to the HIS in relation to Clause 5.10(4) of the Newcastle LEP 2012 as requested by the Hunter Central Coast Regional Panel is satisfactory. Should you have any questions or wish to discuss the matter further, please do not hesitate to contact me on 02 8270 3500 / 0414 421 035 or at kerimed@cityplan.com.au.

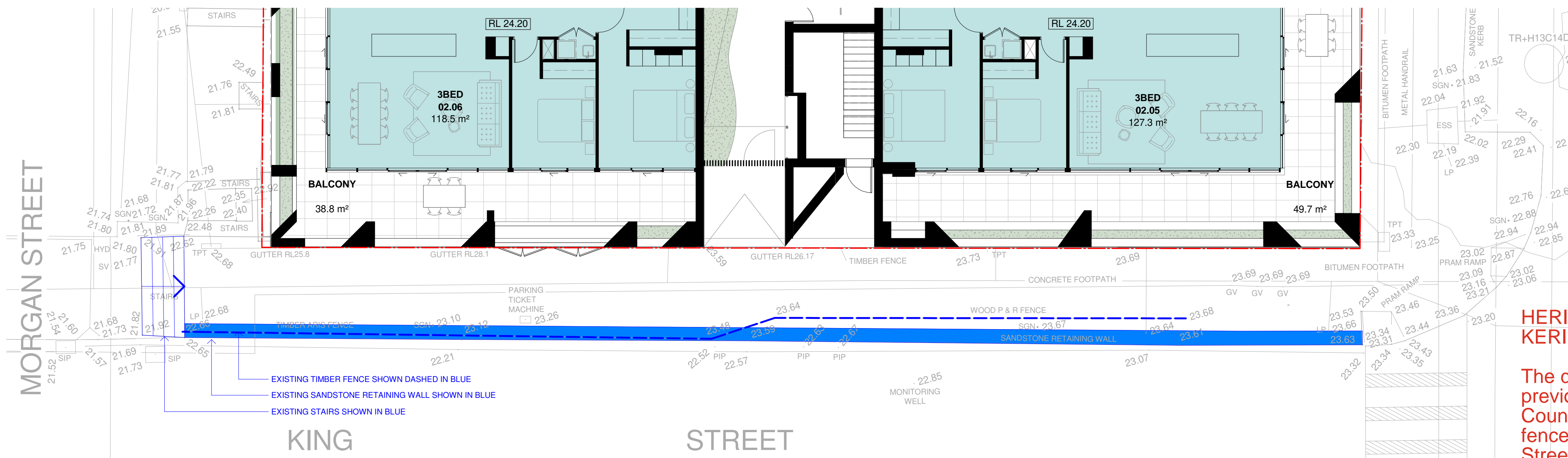
Yours Sincerely,



Kerime Danis
Director - Heritage

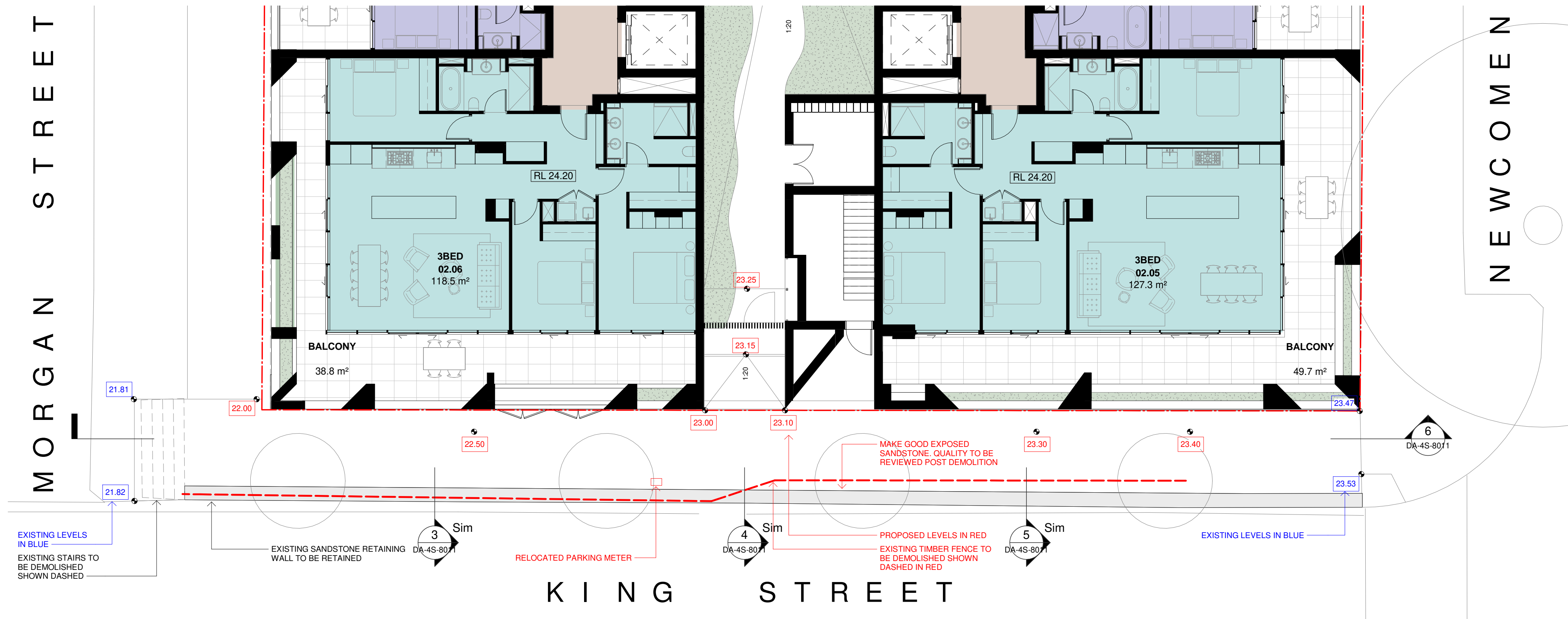
NOTE:

- Please refer to the Urbis VIA for the full scale of the view corridors included in Table 1



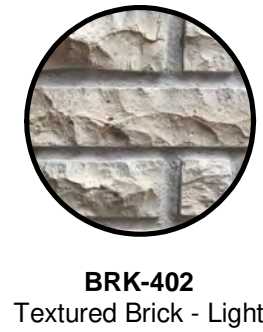
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LEVEL 02 (KING ST) - EXISTING LEVELS

SCALE 1:100



2 PLAN
LEVEL 02 (KING ST) - PROPOSED LEVELS

SCALE 1:100

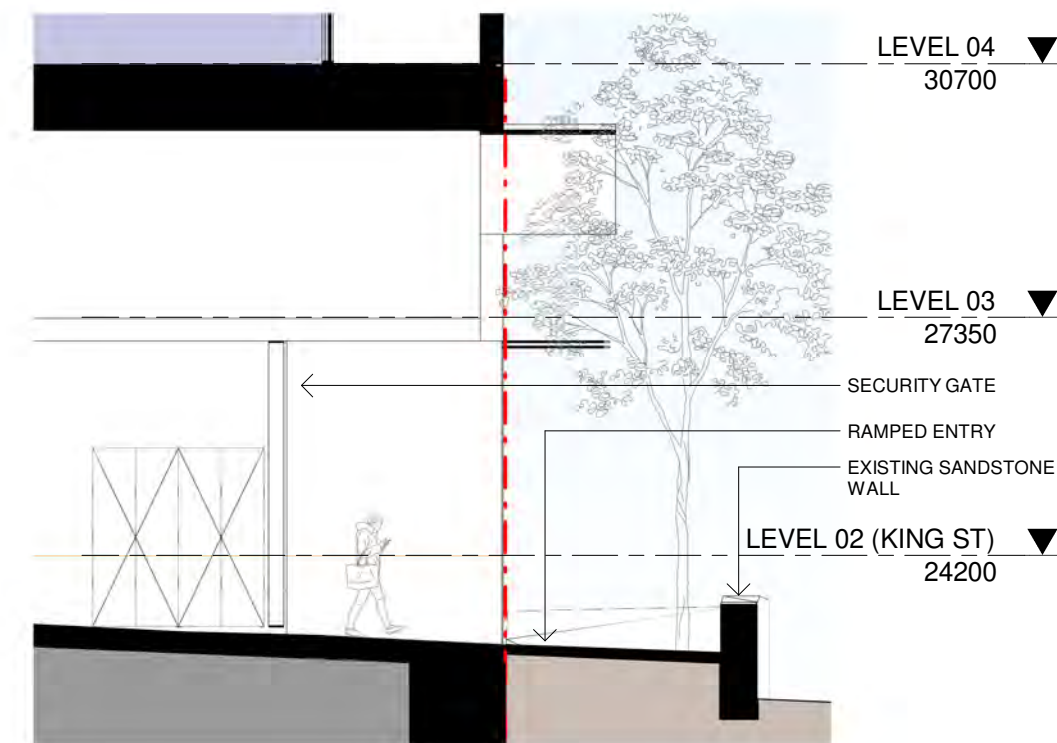


6 ELEVATION
SOUTH ELEVATION

SCALE 1:100



3 SECTION
PRIVATE COURTYARD (WEST)



4 SECTION
SITE ENTRY



5 SECTION
PRIVATE COURTYARD (EAST)

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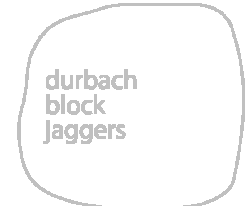
FOR APPROVAL

Rev	Date	Revision	By	Chk.
1	23.01.2024	COUNCIL RFI	RY	WG
2	15.03.2024	COUNCIL RFI	RY	WG
3	15.10.2024	COUNCIL RFI	JG	WG

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curiouspractice.com



Client



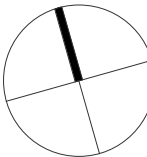
Project
Newcastle East End Stage 3 & 4

Hunter, Morgan, Newcomen, King
Streets NEWCASTLE NSW 2300

Country: AWABAKAL

Drawing Name
KING STREET LEVELS

Drawn
0 1 2 5m
1:100 @A1



Date
15.10.2024
Scale
1 : 100
Sheet Size
@ A1

Drawn
RY
Chk.
WG
Revision
3

Job No.
6668
Drawing No.
DA-4S-8011